

<b>CITY OF WESTMINSTER</b>			
<b>PLANNING APPLICATIONS COMMITTEE</b>	<b>Date</b> 8 December 2015	<b>Classification</b> For General Release	
<b>Report of</b> Director of Planning		<b>Wards involved</b> Knightsbridge And Belgravia	
<b>Subject of Report</b>	<b>Development Site At 1-5 Grosvenor Place, Yorkshire House, Grosvenor Crescent, 3, 4, 5, And 8 Pembroke Close And 12 Halkin Street, London, SW1X 7HJ</b>		
<b>Proposal</b>	Demolition of all existing buildings and comprehensive redevelopment to provide a mixed use development accommodated in a single building arranged around a central courtyard of lower ground, ground, eight upper floors, rooftop plant and basements. Use of new building for hotel comprising up to 190 guest rooms, restaurants/bars, ballroom, function rooms, hotel leisure/spa facilities, ancillary and back of house spaces (Class C1), 24-28 residential dwellings including ancillary residential leisure and amenity facilities (Class C3) and retail (Class A1), car and cycle parking with access from Grosvenor Crescent and Halkin Street, refuse, delivery and circulation spaces within basements and other associated works.		
<b>Agent</b>	Gerald Eve		
<b>On behalf of</b>	One GP LLP		
<b>Registered Number</b>	15/06448/FULL	<b>TP / PP No</b>	TP/1246/6439
<b>Date of Application</b>	03.07.2015	<b>Date amended/ completed</b>	27.10.2015
<b>Category of Application</b>	Major		
<b>Historic Building Grade</b>	Unlisted		
<b>Conservation Area</b>	Belgravia (part)		
<b>Development Plan Context</b> - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
<b>Stress Area</b>	Outside Stress Area		
<b>Current Licensing Position</b>	Not Applicable		

## 1. RECOMMENDATION

1. Grant conditional permission, subject to the views of the Mayor, and subject to a S106 legal agreement to secure:

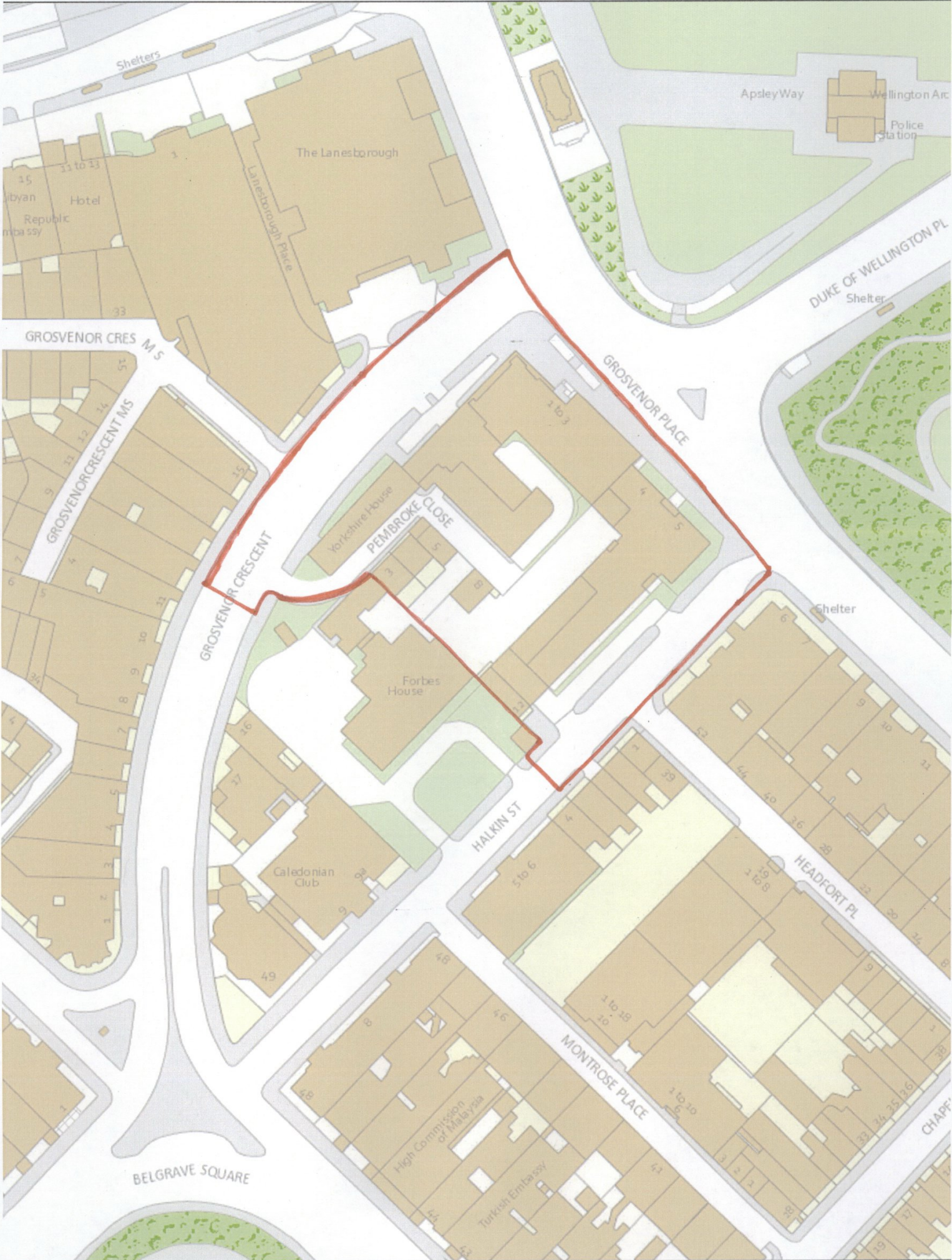
- i) The provision of affordable housing for intermediate rent at 32-42 Buckingham Palace Road to be provided prior to the occupation of the market housing.
- ii) Highway works around the site including works to footways and crossovers.
- iii) A financial contribution of £1,057,260 towards public realm improvements within the site boundary.
- iv) The applicant to comply with the Council's Code of Construction Practice, provide a Site Environmental Management Plan prior to commencement of development and provide a financial contribution of £35,000 per annum during demolition and construction to fund the Environmental Inspectorate and monitoring by Environmental Sciences officers.
- v) Employment and Training Strategy for the construction phase and the operational phase of the development.
- vi) A payment of £40,000 to Transport for London towards a surface level pedestrian crossing on Grosvenor Place.
- vii) A payment of £30,000 to Transport for London towards an improved crossing at Grosvenor Crescent.
- viii) Unallocated car parking.

2. If the S106 legal agreement has not been completed within three months of the date of the Committee resolution, then:

- a) The Director of Planning shall consider whether the permission can be issued with additional conditions attached to secure the benefits listed above. If this is possible and appropriate, the Director of Planning is authorised to determine and issue such a decision under Delegated Powers; however, if not
- b) The Director of Planning shall consider whether permission should be refused on the grounds that it has not proved possible to complete an agreement within an appropriate timescale, and that the proposals are unacceptable in the absence of the benefits that would have been secured; if so, the Director of Planning is authorised to determine the application and agree appropriate reasons for refusal under Delegated Powers.

3. That the Planning Applications Committee authorises the making of a draft order pursuant to Section 247 of the Town and Country Planning Act 1990 for the stopping up of that area of highway necessary to enable the development to take place.

4. That the City Transport Advisor be authorised to take all necessary procedural steps in conjunction with the making of the order and to make the order as proposed if there are no unresolved objections to the draft order.





**DEVELOPMENT SITE AT 1-5 GROSVENOR PLACE,  
YORKSHIRE HOUSE GROSVENOR CRESCENT, 3, 4, 5 AND 8 PEMBROKE CLOSE  
AND 12 HALKIN STREET, SW1**

## 2. SUMMARY

The application site comprises Nos. 1-3 and 4-5 Grosvenor Place together with Yorkshire House, Grosvenor Crescent; 3, 4, 5 and 8 Pembroke Close and 12 Halkin Street. The majority of the application site is located outside a conservation area. None of the properties within the site are listed as being of architectural or historic importance.

The buildings on the site date from the 1960s when the site was comprehensively redeveloped and are mostly in B1 office use. The site is within the Core Central Activities Zone (CAZ).

Permission is sought for the demolition of all existing buildings on site and replacement to provide a single building for hotel (Class C1) and residential (Class C3) use arranged around a central courtyard of lower ground, ground, eight upper floors with rooftop plant and basements. The hotel will comprise up to 190 bedrooms and suites and between 24 and 28 residential units are proposed. The hotel will provide three restaurants also open to the public together with a grand ballroom, four meeting rooms, a leisure/spa facility, retail units (Class A1), the Peninsula Boutique and café and 104 secure underground parking spaces for hotel residents and residents of the Class C3 residential accommodation together with refuse, delivery and circulation spaces.

The applicant is Hongkong and Shanghai Hotels who have submitted the application as a joint venture with Grosvenor. The proposed hotel is to form part of the Peninsular Hotels portfolio which has hotels in other major cities including Hongkong, Shanghai, Beijing, Tokyo, New York and Paris and will provide visitor accommodation at the top of the market. The applicant advises that the hotel would offer a world-leading standard of service and hospitality.

The application has been submitted as part of a land use package with 32-42 Buckingham Palace Road which is also considered as an item on this agenda.

The key issues with this application are:

- \* The design of the new building and its impact on the townscape and views from surrounding conservation areas.
- \* The impact of the new building on the amenity of neighbouring residential properties.
- \* The provision of affordable housing off-site at 32-42 Buckingham Palace Road.
- \* The highway and public realm implications of the scheme.

The scheme is supported in land use and design terms. The scheme will deliver a world class hotel and high quality residential units in a new landmark building that will make a powerful and important contribution to the setting of Hyde Park Corner.

The scheme will have a detrimental impact on a number of neighbouring residential properties, however, the social, economic and environmental benefits delivered by the scheme are a significant material consideration. Officers conclude that the benefits of the scheme as a whole are sufficient in this instance to justify the loss of amenity to neighbouring flats.

It has been demonstrated that the provision of 23 off-site affordable housing units on Buckingham Palace Road is the maximum amount of affordable housing that the scheme can support. The scheme is considered acceptable in all other respects for the reasons set out in the report. On this basis the application has been recommended for approval subject to a S106 legal agreement to secure a number of benefits.

### 3. CONSULTATIONS

#### ARBORICULTURAL MANAGER

Object to loss of trees on Grosvenor Crescent, Halkin Street and Grosvenor Place. The replacement tree planting scheme is not acceptable in the absence of certainty about tree numbers, sizes and the practicality of planting.

#### HIGHWAYS PLANNING MANAGER

No objections raised to servicing, residential car parking provision, the internal vehicle layout and stopping up of Pembroke Close. However, concerns raised about hotel car parking provision, visibility splays, trip generation, the size of the canopy on Grosvenor Crescent, changes to public realm and loss of on street residents parking.

#### ENVIRONMENTAL HEALTH

No objection subject to appropriate conditions. Due to size of the development and the close proximity to numerous sensitive receptors a financial contribution to the Environmental Inspectorate team for the development of a Site Environmental Management Plan (SEMP) to address noise, air quality and dust is required having regard to Westminster City Councils Code of Construction Practice.

#### HISTORIC ENGLAND

Do not wish to comment in detail.

#### GREATER LONDON AUTHORITY

The application does not yet comply with the London Plan in respect of affordable housing, urban design, climate change adaptation, climate change mitigation and transport. Possible remedies set out in the Stage 1 letter could address these deficiencies.

#### TRANSPORT FOR LONDON (TfL)

TfL has a number of objections to the proposed changes to the public realm in the vicinity of the site which must be resolved with TfL prior to determination. TfL requests that financial contributions are secured towards delivery of accessibility, safety and wayfinding improvement schemes in the vicinity of the site.

#### ENVIRONMENT AGENCY

No objection.

#### NATURAL ENGLAND

No comments to make.

#### THAMES WATER

No objection subject to a number of Informatives.

#### WESTMINSTER SOCIETY

The top floor of the proposed building should be removed to lessen the impact of the new structure. No objection to the rest of the scheme.

#### ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 332; Total No. of Replies 10.

Eight letters of objection received (from four addresses) objecting on some or all of the following grounds:

#### Amenity

- Considerable loss of light to Halkin Street residential properties.
- Increased sense of enclosure to Halkin Street residential properties.
- The reductions in light exceed the BRE recommendations.
- The size and design of the building has taken no account of the impact on the residents in Halkin Street.
- Loss of privacy.

#### Design

- Bringing the building line forward would reduce the openness of Halkin Street and detract from the aesthetics of the street.
- Halkin Street is set to become an oppressive ravine.
- Existing buildings on Halkin Street are set back.
- Does not complement existing Georgian character of Halkin Street.
- The proposed garage door on Halkin Street does not enhance the area.

#### Highways

- Reduction in road width.
- Loss of residents' car parking in Halkin Street.
- Increase in street traffic.

#### Other

- The BRE Guidance cannot be applied to the occupiers of 3 Halkin Street as the occupants are registered disabled (letter from NHS provided as background paper xx)

Three letters of support on the grounds that the development will be a positive addition to London and the stunning design is a very significant improvement to what currently exists.

## 4. BACKGROUND INFORMATION

### 4.1 The Application Site

The application site comprises Nos. 1-3 and 4-5 Grosvenor Place together with Yorkshire House, Grosvenor Crescent; 3, 4, 5 and 8 Pembroke Close and 12 Halkin Street.

The majority of the application site is located outside a conservation area. A small part of the site (the south western corner of Yorkshire House and part of Pembroke Close) does, however, fall within the Belgravia Conservation Area. None of the properties within the site are listed as being of architectural or historic importance. However, the Belgravia and Royal Parks Conservation Areas are immediately adjacent as are a number of important listed buildings including the Grade II\* Lanesborough Hotel, the Grade I Burton Screen, the Grade I Aspley House and the Grade I Wellington Arch. The Grade II Forbes House (which has permission for residential use) is immediately adjacent to the south west (rear) boundary of the site.

The area surrounding the site is mixed in character with commercial uses to the north and south and residential properties along Halkin Street and Grosvenor Crescent. Buckingham Palace Gardens are immediately opposite to the east across Grosvenor Place.

The buildings on the site date from the 1960s when the site was comprehensively redeveloped and are mostly in B1 office use. There are eight residential units within Pembroke Close and two residential units and ground floor retail units within Nos. 1-3 Grosvenor Place.

A total of 105 car parking spaces are currently provided on site linked to 1-3 Grosvenor Place (48) and 4-5 Grosvenor Place (57). There are also five private garages associated with the residential units in Pembroke Close.

The site is within the Core Central Activities Zone (CAZ).

#### **4.2 Relevant History**

There is no relevant planning history.

### **5. THE PROPOSAL**

Permission is sought for the demolition of all existing buildings on site and replacement to provide a single building for hotel (Class C1) and residential (Class C3) use arranged around a central courtyard of lower ground, ground, eight upper floors with roof top plant and basements. The hotel will comprise up to 190 bedrooms and suites and between 24 and 28 residential units are proposed. The hotel will provide three restaurants also open to the public together with a grand ballroom, four meeting rooms, a leisure spa facility, retail units (Class A1), the Peninsula Boutique and café and 104 secure underground parking for hotel residents and residents of the Class C3 residential accommodation together with refuse, delivery and circulation spaces.

Pedestrian access to the hotel and retail land uses will be gained via a main entrance point on Grosvenor Place. Pedestrians will also be able to access the site via a secondary pedestrian access off Grosvenor Crescent which will lead to a central on-site courtyard. The courtyard will be the first point of welcome for the majority of visitors to the hotel. It will be surrounded by retail and potential social activities.

Four vehicle accesses will be provided to the site from the public highway; Grosvenor Crescent courtyard access, Grosvenor Crescent (Pembroke Close) servicing access, Halkin Street residential access and Halkin Street secondary hotel access. Pedestrian access to the residential units will be from Halkin Street.

The applicant is Hongkong and Shanghai Hotels who have submitted the application as a joint venture with Grosvenor. The proposed hotel is to form part of the Peninsular Hotels portfolio which has hotels in other major cities including Hongkong, Shanghai, Beijing, Tokyo, New York and Paris and will provide visitor accommodation at the top of the market. The applicant advises that the hotel would offer a world-leading standard of service and hospitality.

The application has been submitted as part of a land use package with 32-42 Buckingham Palace Road which is also considered as an item on this agenda.

### **6. DETAILED CONSIDERATIONS**

#### **6.1 Land Use**

The existing and proposed land uses can be summarised as follows:



Use	Existing (m2)	Proposed (m2)	Change (+ or -m2)
Office (Class B1)	21,451	0	-21,451
Retail	175	1383	+1208
Hotel	0	36,023	+36,023
Overall Commercial	21,626	37,406	+15,780
Residential	1,421	14,741	+13,320
<b>Total (m2)</b>	<b>23,047</b>	<b>52,147</b>	<b>+29,100</b>

**Table 1 Land Use: 1-5 Grosvenor Place (Applicant's calculations)**

#### Loss of office use

The proposal will result in the loss of all the office floorspace (21,451m<sup>2</sup>) on the site. Although there are no specific policies in the UDP or the City Plan that protect office accommodation, applications submitted from 1 September 2015 will be determined under a 'presumption in favour of sustainable development' in line with national policy. This means that in the Core CAZ, Named Streets and Opportunity Areas, housing is no longer acceptable in principle where it results in the loss of office floorspace. As the current application was submitted before the 1 September this policy position does not apply. Notwithstanding this, the current scheme will result in a substantial commercial uplift on the site (36,023m<sup>2</sup>) in the form of hotel accommodation. In these circumstances the loss of the B1 office accommodation is considered acceptable in principle.

#### New hotel use

Hotels are important to support the visitor and business economy, and they have strong links with other activities in central London such as shopping, theatre and other cultural and entertainment activities. In addition to providing 190 rooms and suites, the hotel will provide three restaurants also open to the public and a grand ballroom. The restaurants are (i) The Lobby located on the ground floor with up to 140 capacity (ii) The Chinese Restaurant located on the ground floor including a bar and private dining rooms, with up to 140 capacity and (iii) The Rooftop Restaurant located on the eighth floor with up to 140 capacity. The grand ballroom is located in the basement and will have a capacity for up to 350 people (seated).

Policy S23 of Westminster's City Plan: Strategic Policies (the City Plan) directs new hotels to the CAZ and to those streets which do not have a predominantly residential character. Policy TACE 2 of the UDP is also permissive towards new hotels in the CAZ that do not have a predominantly residential character where (i) no adverse environmental and traffic effects would be generated and (ii) adequate on-site facilities are incorporated within developments proposing significant amounts of new visitor accommodation, including spaces for the setting down and picking up of visitors by coaches and for taxis serving the hotel.

It is considered that this part of the CAZ does not have a predominantly residential character. It is accepted that there are a large number of residential properties in Halkin Street and Grosvenor Crescent, however, Grosvenor Place and Hyde Park Corner have a strong commercial character. The application is therefore considered to comply with this part of adopted policy.

The hotel has been designed to minimise the impact of its activities on neighbours. The main entrance for the hotel for people arriving on foot will be from Grosvenor Place whereas the entrance for the ballroom and for people arriving by car or taxi will be from the central courtyard accessed from Grosvenor Crescent. The entrance for all servicing and refuse vehicles will also be from Grosvenor Crescent. There will be a secondary vehicular entrance and exit on Halkin Street, however, the applicant has indicated that this will be used infrequently by dignitaries.

The principle of a hotel in this location is therefore considered acceptable because it is located in a street that does not have a predominately residential character and the hotel has adequate on-site facilities incorporated within the development, including spaces for setting down and picking up of visitors by taxis and with a detailed Operational Management Plan there should not be any significant amenity implications from the development. Whilst facilities for coaches are not provided, this is considered acceptable for the reasons set out in Section 6.4 of this report. The amenity and highway implications of the hotel are considered in full in Sections 6.3 and 6.4.

### **Residential use**

Policy S14 of the City Plan and H3 of the UDP seek to maximise the amount of land or buildings in residential use. The introduction of residential use on the site is therefore acceptable in principle.

The scheme will provide between 24 and 28 market residential units. The exact number is not fixed because the applicant would like some flexibility to ensure that the unit mix can respond to market demand closer to the point of completion. This is considered acceptable.

The scheme proposes the following mix of units: 6 x 2 bed, 9 x 3 beds, 12 x 4 beds and 1 x 5 bed. Policy H5 of the UDP seeks to ensure an appropriate mix of unit sizes in all housing developments with 33% of units to be family sized. With this scheme 79% of the units will be family sized ranging from 271m<sup>2</sup> for the smallest three bed to 561m<sup>2</sup> for the five bed unit. The average unit size in the development is 332m<sup>2</sup>. All units will therefore exceed National Housing Standards which is welcome.

The scheme will deliver a high proportion of family sized units. The applicant has sought to justify this having regard to Grosvenor's wider portfolio of residential provision and the design constraints of the application site. The applicant considers that consideration should be given to Grosvenor's estate strategy that seeks to create a balanced community in Belgravia and Mayfair. (The applicant advises that within these two areas a total of 167 residential units have been created, or are on site, since 2011, and of these 70% are one and two bed, with an average size of 87m<sup>2</sup>). In terms of design constraints, the applicant advises that a key concept for the site has been to treat the proposed development as a single building. As proposed, the residential accommodation has been arranged on the same module as the hotel accommodation (i.e. deep floorplates) to ensure a consistent elevation treatment for the design and spacing of the windows. The applicant considers that as a result of these factors, creating good quality smaller residential units would be challenging i.e. small flats would be long and thin and mainly single aspect looking out onto the central courtyard. The case made by the applicant for not providing a more balanced mix of residential unit sizes is accepted by officers.

The applicant has confirmed that all of the units will meet the Lifetime Homes Standards and that 10% will be designed to be easily adaptable to meet the needs of a wheelchair user. This is welcome in policy terms.

The units at level 6 and upwards have private terraces, however, units on the lower floors do

not have any outside space. This is because the provision of external balconies on the façade of the building would be undesirable in design terms. However, both Hyde Park and The Green Park are a short walk away.

Policy ENV 6 of the UDP states that the City Council will require residential developments to provide adequate protection from existing background noise and noise from within the development itself. This will be achieved through high specification glazing and the use of comfort cooling, although the residential units will also be required to have openable windows. Given the large amounts of glazing in the design, the applicant advises that the hotel and residential windows on Grosvenor Place will not comply with the Council's standard internal noise condition. It is therefore recommended that for residential windows on or close to Grosvenor Place, internal target levels may be relaxed by up to 5dB and reasonable internal conditions still achieved. It is not normal policy to apply the standard internal noise condition to hotel bedrooms.

### **Affordable Housing**

Policy S16 of the City Plan states that proposals of either 10 or more additional units or more than 1,000m<sup>2</sup> of additional residential floorspace will be expected to provide a proportion of the floorspace as affordable housing. The quantum of affordable housing required in each case is set out in the Council's Affordable Housing Interim Guidance Note. In this case the additional 13,320m<sup>2</sup> (GEA) of residential floorspace would require the provision of 3,330m<sup>2</sup> (25%).

Policy S16 states that affordable housing will be provided on-site. However, where the Council considers that this is not practical or viable, the affordable housing should be provided off-site in the vicinity. Where it can be demonstrated that on-site or off-site provision in the vicinity of the site cannot be achieved for legitimate reasons, a financial contribution to the Council's affordable housing fund may be considered as an acceptable form of affordable housing provision.

The applicant considers that it is not reasonably practical or viable to deliver affordable housing on site. The applicant argues that efficient on-site provision is impractical for the similar design reasons that make the provision of smaller units impractical (detailed above). The applicant has provided an indicative affordable residential layout that shows that the units would either significantly exceed the National Housing Standards or the smaller units would be single aspect and north facing. The applicant has also provided a financial viability assessment (FVA) to support their argument that on site affordable housing is not viable. The FVA has been assessed by the Council's independent consultant, GVA, who agree with the applicant's position that it is not viable to provide any form of affordable housing on site.

The applicant is therefore seeking to address Policy H4 of the UDP and Policy S16 of the City Plan through off-site provision. It is proposed to provide 23 affordable housing units for intermediate rent purposes at 32-42 Buckingham Palace Road. In terms of adopted policy, the site at Buckingham Palace Road is considered to be within the vicinity of 1-5 Grosvenor Place and the submitted plans show the residential units would provide at least as good a standard of new residential accommodation in terms of quality and amenity that could be provided on-site. The Council's Affordable Housing Supply Manager supports the proposal.

The 23 off-site units would result in an overall affordable housing provision of 1872m<sup>2</sup> or 13% whereas, taking both sites together, adopted policy requires the provision of 3798m<sup>2</sup>. There is therefore a shortfall in affordable housing floorspace of 1926m<sup>2</sup>. A policy compliant payment in lieu for the residual balance of affordable housing is £12,293,639. However, having assessed the FVA, GVA has advised that the offer of the donor site is the maximum reasonable amount of affordable housing that the scheme can afford. On this basis the proposed affordable housing offer is considered to comply with adopted policy.

### Mixed Use

Policy S1 of the City Plan states that within the CAZ, a mix of uses consistent with supporting its vitality, function and character will be promoted. The policy goes on to state that 'where proposals increase the amount of commercial floorspace by 200m<sup>2</sup> or more, the provision of an equivalent amount of residential floorspace will be required on-site, where the Council considers this to be appropriate and practical.'

The scheme proposes a mix of hotel, residential and retail uses that would add to the richness of uses within the CAZ. However, as shown in Table 1, the scheme does not fully comply with Policy S1 as the amount of commercial floorspace exceeds the amount of residential floorspace by 2,460m<sup>2</sup>. However, Table 2 (below) demonstrates that when the two sites are taken together the increase in commercial floorspace would be matched by the increase in residential floorspace. The overall increase in commercial floorspace across the two sites would be 14,333m<sup>2</sup> and the total overall increase in residential floorspace across the two sites would be 15,192m<sup>2</sup>. Given that Policy CENT 3 of the UDP sets out a cascade for the provision of residential floorspace in order to satisfy mixed use policy, this is considered acceptable, subject to a legal agreement to secure the residential floorspace.

Use	Existing (m <sup>2</sup> )	Proposed (m <sup>2</sup> )	Net Change (+ or -m <sup>2</sup> )
Office (Class B1)	22,683	0	-22,683
Hotel (Class C1)	0	36,023	+36,023
Retail (Class A1/A3)	1,392	2,472	+1,080
Dental Surgery (Class D1)	87	0	-87
<b>Overall Commercial</b>	<b>24,162</b>	<b>38,495</b>	<b>+14,333</b>
<b>Residential (Class C3)</b>	<b>1,497</b>	<b>16,689</b>	<b>+15,192</b>

**Table 2 Land Use: Cumulative (Applicant's calculations)**

### Retail use

It is proposed to provide 1,383m<sup>2</sup> of Class A1 retail use at ground floor level within a number of corner units. Given the location of the site within the Core CAZ these retail units are welcome in policy terms.

## 6.2 Townscape and Design

The existing buildings on the site all date from the post Second World War. They are all considered to be poor or indifferent designs and their removal is welcomed.

The proposed new building fills the entire application site, with built form to all the boundaries and an open central courtyard. The building is higher than the previous buildings on the site, in some places considerably so, and the mass and bulk of the built form is greater than that for the existing buildings on the site. However, in comparison to its neighbours, the new building sits relatively comfortably within the streetscene. It is higher than its immediate neighbours, but not to the extent that it detracts from or overdominates them. The site is an

extremely prominent one with a wide and extensive foreground (Hyde Park Corner) from which the building, and its neighbours, can be appreciated. From this vantage point, the building does not seem overscaled. Similarly, in Grosvenor Crescent the scale of development does not appear unseemly. In Halkin Street, there is a slightly lower scale of development and the existing building on the site is lower and set back from the road boundary. Therefore, here, it is apparent that there is a significant increase in the visual mass and height of the building, particularly with regard to the relationship to Forbes House and its garden. While this is considered a negative impact, it is of a moderate nature and it is considered that its effect is ameliorated by the improved architecture of the building.

The wider impact of the increased height and bulk on Belgravia Conservation Area is limited to one view from Belgrave Square and Halkin Place beyond. From the most distant point of Belgrave Square, the very top of the new building is seen as a thin sliver above the Grade II\* listed 49 Grosvenor Square. In summer, this view would be largely hidden by a large mature tree. Given that this is the only vantage point from which the new building can be seen from Belgrave Square and the view is so minimal, it is not considered that the development impacts unacceptably on this important historic square. From the west end of Halkin Place, there is a more clear view of the new building appearing above the Grade II\* building in the foreground. This is the furthest distance into the Belgravia Conservation Area from which the development will be seen and therefore the point of maximum visibility. There is no doubt that the building is intrusive to some degree, but this is a very limited viewpoint and some distance from the target building. The impact is considered harmful but modest.

The main impact on the important adjacent listed buildings is on the Brunel screen to Hyde Park and to views of Wellington Arch and the winged figure of Victory above. The increased impact is simply due to the increased height of the proposed development. The effect on the Brunel screen is considered neutral, the building appears more prominent but it is not harmful to the setting of the Screen and does not detract from its setting. The new building does have some impact on views of the figure of Victory on top of Wellington Arch. Due to its increased height, there are some viewpoints from where the figure will no longer be seen against the background of the sky and the new building would intrude on that view. However, the experience of these views is constrained by adjacent tree foliage, road traffic, street lamps and so on. There are no specific viewpoints of the Arch, which require to be protected. The impact would be considered negligible and capable of being outweighed by other benefits that the scheme brings.

As stated above, the existing buildings on the site are considered to have no architectural merit. The poorly detailed facades of the office buildings are typical of this period of post war architecture. The materials are high quality but the highly repetitive use of horizontal bands of windows as, virtually, the only ordering device is weak and leads to little detail or subtlety in the building fabric. The lower mews buildings to the rear are inoffensive but offer little positively in terms of townscape quality. The replacement building is a large, bold and coherent design. It has a strong visual presence and is designed in the classical tradition, though in a contemporary style, that sits well with the prominent and important classical buildings nearby. The strongly expressed base, middle and top and the use of high quality materials, stone and bronze, give the building a powerful visual presence and a level of architectural detail and subtlety that is missing from the buildings currently on site.

In summary, it is considered that the increased visual impact on Halkin Street and the grade II Forbes House and the marginal impact on some views are outweighed by the substantial benefits of the improved design of the new building, which is considered to make a powerful and important contribution to the setting of Hyde Park Corner.

### 6.3 Amenity

This section will consider the impact on residential amenity from the day to day operation of the hotel and the impact from the building in terms of daylight, sunlight, sense of enclosure, overlooking and noise from mechanical plant and construction works.

Policy ENV13 of the UDP relates to protecting amenities, daylight and sunlight, and environmental quality. Policy ENV 13 (D) states that the City Council will resist proposals which result in a material loss of daylight/sunlight, particularly to existing dwellings and educational buildings. Policy ENV 13 (E) goes on to state that developments should not result in a significant increase in sense of enclosure, overlooking, or cause unacceptable overshadowing, particularly on gardens, public open space or on adjoining buildings, whether in residential or public use. Policy ENV 6 seeks to protect noise sensitive properties from noise disturbance.

#### Day to Day Operation of the Hotel

The hotel would be open and accessible to guests 24 hours a day, seven days a week. However, the applicant has advised that the proposed hours of operation for the principal public facilities are between the following hours:

Use	Proposed hours
The Lobby	07:00 to 00:00
Retail Units	09:00 to 21:00
The Rooftop Restaurant	11:30 to 14:30 and 18:00 to 00:00.
Rooftop Bar	17:00 to 02:00
The Chinese Restaurant	11:30 to 14:30 and 18:00 to 00:00
The Chinese Bar	12:00 to 01:00
Peninsular Boutique and Cafe	07:00 to 19:00
The Ballroom	On guest's demand
The Meeting Rooms	On guest's demand

Unlike the existing multi-tenanted office building, the new development will have a greater degree of control over the type and number of servicing movements across the site. All staff will enter the hotel via a dedicated pedestrian route on the servicing ramp on Grosvenor Crescent. The applicant advises that servicing movements would generally be restricted to operating hours of 07.00-18.00 seven days a week, that the hotel will have a permanent 24/7 security team on site and a private, direct contact number will be made available to local residents and businesses to enable them to contact the hotel management directly.

The hotel has been designed to minimise the impact of these activities on neighbouring residents. This includes the location of the main pedestrian entrance on Grosvenor Place, the provision of a central courtyard for taxi drop-offs and pick-ups and dedicated servicing areas in the basement. For these reasons and with an appropriate Operational Management Plan secured by condition, it is not considered that the impact on residential amenity or environmental quality will be significant. The concerns of residents regarding the secondary entrance and exit for the hotel on Halkin Street are noted. However, the applicant advises that this will be for the arrival and departure of VIP and diplomatic guests for security reasons. Officers consider that the controls on the use of this vehicular entrance and exit can be set out in the Operational Management Plan.

#### Impact on Daylight, Sunlight, Overlooking and Sense of Enclosure.

The scheme involves replacing a 1960s development that is set back from the pavement edge, most noticeably on Halkin Street. The proposal to bring the building line forward on Halkin Street by 8m and to increase the height of the building will inevitably have an impact on

neighbouring properties. Objections to the scheme have been received from residents within flats at Nos. 1-3 Halkin Street on amenity grounds, principally loss of light, loss of privacy/overlooking and increased sense of enclosure.

### Daylight

The City Council generally has regard to the standards for daylight and sunlight as set out in the Building Research Establishment (BRE) 'Site Layout Planning for Daylight and Sunlight' (as revised 2011). The applicant's consultant Anstey Horne has carried out the necessary tests using the methodology set out in the BRE guidelines on the nearest, most affected residential properties, namely 1, 2, 3 and 4 Halkin Street; Forbes House, 10 Halkin Street; 11, 12, 13, 14, 15 and 16 Grosvenor Crescent. The assessment considers the impact of the development on the vertical sky component (VSC) and daylight distribution available to windows in these properties. VSC is a measure of the amount of sky visible from the centre point of a window on its outside face. If this achieves 27% or more, the BRE guidelines state that the window will have the potential to provide good levels of daylight. The BRE guidelines state that reductions of over 20% of existing daylight levels are likely to be noticeable.

The daylight assessment shows that a number of windows to flats within 1, 2 and 3 Halkin Street will experience transgressions outside the BRE guidelines, particularly at basement level where there are losses of up to 53% to bedroom accommodation. The report concludes that the impact on 4 Halkin Place (aside from one window where there is a 21% reduction in VSC), Forbes House and 11-16 Grosvenor Crescent is within the BRE guidelines.

The results of the VSC assessment for each of the objector's properties are shown in the tables below.

#### 2 Halkin Street.

Level	Room	Existing VSC	Proposed VSC	Reduction
Basement	Bedroom	16.05	9.47	41%
Basement	Bedroom	17.45	10.70	39%
Ground	Living room	20.11	12.41	38%
Ground	Living room	19.75	11.45	42%

#### 1-2b Halkin Street (a lateral conversion flat across Nos. 1 and 2)

Level	Room	Existing VSC	Proposed VSC	Reduction
First floor	Bedroom	24.59	14.65	40%
First floor	Bedroom	24.29	14.04	42%
First floor	Bedroom	23.95	13.61	43%
First floor	Living room	25.87	17.74	31%
First floor	Living room	25.42	16.47	35%
First floor	Living room	25.03	15.59	38%

#### Ground and Basement, 3 Halkin Street

Level	Room	Existing VSC	Proposed VSC	Reduction
Basement	Bedroom	13.02	10.00	23%
Basement	Bedroom	13.31	10.69	20%
Ground	Living room	14.09	10.15	28%
Ground	Living room	14.01	9.53	32%

#### First floor, 3 Halkin Street

Level	Room	Existing VSC	Proposed VSC	Reduction
First	Living room	28.28	23.54	17%
First	Living room	27.89	22.66	19%
First	Living room	27.36	21.63	21%
First	Kitchen	26.65	19.72	26%

There is no doubt that the daylight losses to flats in the basement of Nos. 1 and 2 Halkin Street are significant. However the affected windows serve bedrooms which are considered to be habitable room of secondary importance. The losses to the ground floor living rooms of 1, 2 and 3 Halkin Street are also considered to be significant and regrettable particularly as these are the main habitable rooms. The impact to these living rooms is partly mitigated by the fact that the rooms are served by two windows. At first floor level and above the impact is less significant and the bedroom and living room accommodation generally maintains a good standard for this central London location. The only means of protecting substantively the existing daylight conditions to these properties would be to set the building back on Halkin Street and reduce its height through a series of setbacks. However, the applicant advises that such measures would impact significantly on the viability of the scheme and harm the proposed 'palazzo' design of the building. The loss of daylight to properties on Halkin Street is regretted, however, the social, economic and environmental benefits delivered by the scheme are a significant material consideration. Officers conclude that the benefits of the scheme as a whole are sufficient in this instance to justify the loss of amenity to neighbouring flats.

### 3 Halkin Street

The occupants of the ground and lower ground floor flat at 3 Halkin Street have requested that the applicant provides an average daylight factor assessment. The occupants have also set out their personal circumstances in their objection letter and assert that the 20% BRE guidelines threshold should not be applied given that both occupants are disabled with impaired vision. Furthermore, as the basement room serves as a virtual hospital, any reduction in daylight would they argue be dangerous and highly undesirable. A letter from Dr Claudia Wold of the Central and North West London NHS Trust has been provided in support of the objection letter and is provided as a background paper.

The daylight assessment for this property shows that one basement window marginally fails the BRE test for VSC (23%) whereas one window passes. At ground floor level there is a 28% and 32% reduction in VSC and therefore a technical breach of the guidelines. Officers are sympathetic to the personal circumstances of the occupants of 3 Halkin Street and it is acknowledged that there will be a material impact in terms of daylight to three out of four windows to this property which breach the BRE guidelines. However, as set out above, the social, economic and environmental benefits delivered by the scheme are a significant material consideration in assessing the impact on the amenity on neighbours. Officers conclude that the benefits of the scheme as a whole are sufficient in this instance to justify the loss of amenity to this property. It is accepted that the Council has a statutory duty under the Equality Act 2010 to pay due regard to the needs of the current occupiers of 3 Halkin Street but for the reason set out above this is not in itself justification to refuse the application.

### Sunlight

In respect of sunlight, the BRE guide suggests that a dwelling will appear reasonably well sunlit provided that at least one main window wall faces within 90% of due south and it receives at least a quarter of annual probable sunlight hours (APSH), including 5% of APSH during the winter months. As with the tests for daylighting, the guidelines recommend that any reduction below this level should be kept to a minimum; if a window will not receive the amount of sunlight suggested, and the available sunlight hours is less than 0.8 times their former value, either over the whole year or just in winter months, then the occupants of the existing building will notice the loss of sunlight; if the overall annual loss is greater than 4% of APSH, the room may appear colder and less cheerful and pleasant.

The sunlight assessment demonstrates that Nos. 11, 12, 14, 15, 16 and Forbes House all comply with the BRE guidance. The only affected property is 13 Grosvenor Crescent which will experience a 24% reduction for the annual sunlight hours and a 25% reduction for the winter sunlight hours. However, the applicant advises that the affected room is lit by another



window which exceeds the BRE guidelines target. Overall, the impact is considered acceptable. The properties on Halkin Street do not need to be tested for sunlight impact because of their orientation.

#### **Sense of Enclosure and Loss of Privacy/Overlooking.**

The scheme will reduce the front to front distance between Nos. 1-4 Halkin Street and the new building from 25m as existing to 17m as proposed. This will be a noticeable reduction and will increase the sense of enclosure for occupants of residential properties opposite on Halkin Street. However, the provision of 17m separation distance is considered reasonable for this central London context both in terms of sense of enclosure and overlooking. Therefore, the impact on residential properties opposite is not considered to be so severe as to justify a refusal. A special window type has been developed in order to prevent overlooking to the adjacent Forbes House frontage using an echelon arrangement together with horizontal louvres. This particular relationship is considered acceptable in amenity terms.

#### **Mechanical Plant**

Mechanical plant is proposed in the basement and within plant enclosures at main roof level. Conditions are recommended to secure full details and a supplementary acoustic report when plant has been selected, location and hours finalised, and the attenuation measures are available to confirm compliance with the Council's standard noise condition. The Council's standard condition relating to the testing of emergency generators is also recommended.

#### **Construction Management**

A condition is recommended to protect the amenity of the surrounding area by ensuring that core working hours are kept to 08.00 to 18.00 Monday to Friday and 08.00 to 13.00 on Saturday. The condition states that noisy work must not take place outside these hours except as may be exceptionally agreed by other regulatory regimes such as the police, by the highways authority or by the local authority under the Control of Pollution Act 1974.

The City Council's Code of Construction Practice and associated Environmental Inspectorate have been developed to mitigate against construction and development impacts on large and complex development sites. It is recommended that the necessary contributions to ensure compliance with the Council's Code of Construction Practice, and to secure the monitoring expertise of the Council's Environmental Sciences Team, the latter of which controls noise, dust and vibration emanating from the site through a site specific SEMP, should be secured through a S106 legal agreement.

#### **6.4 Transportation/Servicing**

The key issues raised by the proposal are servicing, parking, traffic generation and public realm. The applicant has submitted a Transport Assessment (TA) in support of the application.

Policy S41 of the City Plan requires all development to prioritise pedestrian movement and a pedestrian safe environment whereas S42 of the City Plan and TRANS 20 of the UDP require adequate off-street servicing provision in new developments.

Policy TRANS22 of the UDP applies to hotels and related activities within hotel developments. The policy states that car parking facilities will not normally be permitted. All developments will, however, be required to assess and meet expected demand for parking and servicing from coaches, mini-buses and for people with disabilities.

Policy TRANS 23 of the UDP sets out the Council's policy on off-street parking for residential development which is based on a maximum standard of one off-street parking space per residential unit of two bedrooms or less; and 1.5 off-street parking spaces per residential unit of three bedrooms or more. The City Council encourages the provision of parking up to the maximum standard.

### **Vehicle Access Points**

Four vehicle access points are proposed for the new building. These are:

#### Grosvenor Crescent courtyard access

This is the primary vehicular access, providing access to both a hotel drop-off located within an on-site courtyard and the hotel basement car park. All car, taxi, people carrier and chauffeur driven vehicles will pick-up and drop-off hotel guests within the courtyard. As part of the Transport for London Road Network, no drop-off activity will occur on Grosvenor Place. Inbound vehicles will be given priority to avoid queuing on the public highway. Four drop-off / pick-up bays will be provided within the courtyard.

#### Grosvenor Crescent servicing access

This will utilise a ramp to the basement level to be located on the current alignment of Pembroke Close. All staff will enter the hotel via a dedicated pedestrian route on the ramp.

#### Halkin Street residential access

Provide access for vehicle drop-offs to the residential flats (with an in-out arrangement) and to residential basement car parking.

#### Halkin Street secondary hotel access

For the arrival and departure of VIP and diplomatic guests for security reasons. The applicant advises that this is essential to the hotel's operation for resilience, contingency and security reasons.

The vehicle access points set out above are considered acceptable in highway terms.

### **Servicing**

The trip generation analysis in the TA predicts that there will be up to 44 daily delivery and servicing trips to the hotel element of the scheme. A further 20 are predicted for the retail units and 14 for the residential element. All servicing for all uses is proposed to occur off-street within the basement area and will be controlled by a strict delivery system. Details of this are set out in the Delivery and Servicing Plan which it is recommended is secured by condition. The applicant has provided vehicle tracking to demonstrate a 10.4 metre vehicle (the largest expected to be associated with the development) and a Westminster refuse vehicle can access the servicing area and exit the site in forward gear. The proposal is therefore considered consistent with S42 of the City Plan and TRANS20 of the UDP.

### **Car Parking**

#### Hotel

68 car parking spaces are proposed to serve the hotel; 22 spaces for the hotel fleet vehicles and 46 for hotel residents and customers of the hotel's restaurants and ballroom. Guest parking will be valet parking accessed from Grosvenor Crescent. The Highways Planning Manager and TfL object to this level of car parking for the hotel. The applicant has advised that this level of on-site car parking is an essential requirement in order to successfully operate a prestigious hotel. If the parking was not located on site, the applicant states that additional trips would be required bringing vehicles to the site from an off-site store or guests would need to park on-street or in nearby public car parks. Although the amount of hotel parking is contrary to policy, the applicant's case for providing a high level of parking spaces is accepted.

#### Residential

36 car parking spaces are proposed to serve the residential occupiers. This is considered to be acceptable. It is recommended that each residential unit is provided with an unallocated car parking space. This can be secured through the S106 legal agreement.

**Cycle Parking**

80 cycle parking spaces are proposed for the residential use which exceeds the standards set out in the Further Alterations to the London Plan (FALP). 24 cycle parking spaces are proposed for the hotel which complies with FALP standards.

**Coaches**

The Highways Planning Manager is concerned that the hotel makes no provision for coaches or mini-buses. Following a redesign of the public realm works (see below) the applicant is no longer proposing double yellow lines for coach pick up and drop off on Grosvenor Crescent. Instead the applicant advises that the hotel will not accept coach parties and guests would not arrive or depart by coach and the applicant is willing to accept a condition to secure this. The concerns of the Highways Planning Manager are noted, however, given the type of hotel being proposed it is not considered essential to have coach parking facilities on site. A condition is therefore recommended to prevent coaches from using the hotel.

**Traffic Generation**

The aim of the TA is to identify existing and potential future traffic and transport issues related to the site. The TA has based its traffic predictions for the hotel on surveys at the Intercontinental Hotel in London which is seen to be comparable to the proposed use.

The key findings of the TA are that between 07.00 and 19.00 the existing office use generates 271 office car driver trips whereas the hotel is predicted to generate 328 car and taxi trips in the same period. Over a 24 hour period the hotel is predicted to generate 524 car and taxi trips. When the ballroom is in operation the TA predicts that an additional 359 vehicle trips will be generated between the hours of 5pm to 1am.

Based on the information set out in the TA, the proposed hotel and ancillary uses will clearly increase vehicle movements to the site. In addition there will be more activity associated with the site in the evening and night periods compared to the existing office use. However, whilst this increase in traffic levels is likely to be noticeable, particularly at night time, it is not considered unacceptable either in highways or amenity terms. All servicing and vehicular drop off will take place off street within the site therefore minimising any impact to local residents. The primary access point for vehicular traffic will be from Grosvenor Crescent which is a busy street. The increase in traffic is unlikely to cause significant noise disturbance to neighbouring residents, particularly if the hotel is well managed. Given the nature of the hotel operator which has experience of operating top hotels across the world, the proposal is considered acceptable on highways grounds subject to a condition to secure an Operation Management Plan for the management of the traffic generated by the hotel and its ancillary entertainment spaces.

**Public Realm**

The applicant is proposing alterations to the highway around the site to improve the setting of the building and enhance the pedestrian environment.

The proposals on Grosvenor Crescent and Halkin Street, where the Council is Highway Authority, include the widening of the footways and replacement tree planting. On Grosvenor Place, where TfL is highway authority, the proposals include the infilling of one arm of the subway, the removal of a tree, the relocation of cycle parking stands and alterations to the junction with Grosvenor Place and Grosvenor Crescent. The justification for these works on Grosvenor Place is to remove street clutter and to enhance the setting of the new building.

The improvements to the public realm are welcome in principle. The highway works plan submitted by the applicant, revised 20 November, show the loss of two Respark spaces on Grosvenor Crescent and three Respark spaces on Halkin Street. The applicant advises that these changes are necessary due to the new vehicle entrances associated with the

development. The highway works plan is indicative only at this stage as the full scope of works needs to be agreed with the Council and TfL as highway authority. It is therefore recommended that a final highway works plan is reserved by condition. It is recommended that the vehicle crossover highway works are secured through a S106 legal agreement as these works are considered necessary for the development to proceed. The applicant will require separate agreement with TfL for the public realm works on Grosvenor Place.

The proposed hotel canopy on Grosvenor Crescent is only acceptable if the kerb line is altered. Given the uncertainty over the final design of the highway works, it is recommended that the final design of the canopy is secured by condition.

### **Stopping Up**

The proposal includes the stopping up of Pembroke Close. While unusual to effectively remove a whole street from the Westminster highway network to accommodate development, Pembroke Close only provides access to properties which form part of the development site. On this basis, the proposal to remove Pembroke Close as highway is not contrary to planning policy. The Highways Planning Manager is seeking the dedication of land on Grosvenor Crescent to rationalise the highway boundary, however, the applicant does not wish to pursue this matter on the grounds that they have a strong track record of maintaining public realm to a high standard. This is considered acceptable.

## **6.5 Economic Considerations**

In addition to construction employment, the applicant estimates that there would be up to 733 direct full time equivalent (FTE) jobs on site once the scheme is operational. This includes those working in the hotel, retail and residential elements of the scheme. This compares to an estimate of 851 FTE jobs supported by the office use. The proposed development would therefore result in a slight decrease in direct employment on the site however the hotel is likely to generate a very significant increase in indirect employment supported through visitor expenditure.

The hotel will offer the possibility for more accessible and valuable jobs for the unemployed and low skilled workforce in the local community. For this reason it is recommended that an Employment and Skills Training Plan to enable Westminster residents to have access to the opportunities created. This can be secured through the S106 agreement.

## **6.6 Access**

The hotel and residential uses have been designed to be fully accessible. Specific accessibility measures include provision of a self-park adapted vehicle parking bay, 10% of hotel rooms to be accessible with 50% complete from fit out and the balance adaptable, ramped access on Grosvenor Place, all residential units provided to Lifetime Homes standard and 10% of the residential units to be easily adapted to meet the needs of a wheelchair user.

## **6.7 Other UDP/Westminster Policy Considerations**

### **6.7.1 Trees**

The applicant is seeking the removal of all the street trees surrounding the site. These are three Dawn Redwoods and a Swamp Cypress on Grosvenor Crescent, a mature London Plane on Grosvenor Place and a Norway Maple and mature London Plane on Halkin Street. All the trees are owned and managed by the Council with the exception of the London Plane on Grosvenor Place which is owned and managed by TfL.

The Council's Arboricultural Manager objects to the loss of the two London Planes, the Dawn Redwoods and the Swamp Cypress on the grounds of harm to public amenity and to the character and appearance of the area. TfL similarly objects to the loss of the London Plane on Grosvenor Place.

The loss of the mature London Plane on Halkin Street is regretted, however, its removal is required due to the enlarged footprint of the new building. The applicant is proposing replacement trees along Halkin Street.

The submitted drawings show that only one of the trees on Grosvenor Crescent is required to be removed. The other three trees could potentially be accommodated within the form of the new development. However, the applicant has made a case for their removal on the basis that the tree species either does not align with the character of the more historic tree cover of the locality, that three of the trees are low quality or that they causing damage to the pavement. The concerns of the Council's Arboricultural Manager about the removal of these trees are noted, however, given the overall benefits of the scheme and the wider aspirations of the applicant, this is considered acceptable. A condition is recommended to ensure that the proposed replacement trees are an appropriate size and species type.

The applicant also proposes significant tree pruning works to a high quality London Plane within Forbes House. The works are to provide up to 4m clearance from the tree to the new building elevation. The Council's Arboricultural Manager considers that this will create an unbalanced canopy and objects. Further details of the root protection area of the tree are also required and it is considered that these can be secured by condition.

## **6.8 London Plan**

Whilst the application is supported in principle, there are outstanding strategic planning concerns relating to affordable housing, urban design and transport.

Affordable housing - the Council should confirm that the affordable offer, tenures, mix of units and rent levels meet local housing needs and consider whether contributions towards off site playspace would be necessary.

Urban design - the means of opening up retail Units 5 and 7 to allow opportunities for passive surveillance should be explored. It is preferable that the mature London Plane tree on Grosvenor Place is retained.

Transport - TfL has a number of objections to the proposed changes to the public realm in the vicinity of the site which should be resolved before the application is referred back to the Mayor. Financial contributions should be secured towards delivery of accessibility, safety and wayfinding improvement schemes in the vicinity of the site.

## **6.9 National Policy/Guidance Considerations**

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing

plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

## 6.10 Planning Obligations

On 6 April 2010 the Community Infrastructure Levy (CIL) Regulations came into force which make it unlawful for a planning obligation to be taken into account as a reason for granting planning permission for a development, or any part of a development, whether there is a local CIL in operation or not, if the obligation does not meet all of the following three tests:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

Policy S33 of the City Plan relates to planning obligations. It states that the Council will require mitigation of the directly related impacts of development; ensure the development complies with policy requirements within the development plan; and, if appropriate, seek contributions for supporting infrastructure. Planning obligations and any Community Infrastructure Levy contributions will be sought at a level that ensures the overall delivery of appropriate development is not compromised.

From 6 April 2015, the Community Infrastructure Levy Regulations (2010 as amended) impose restrictions on the use of planning obligations requiring the funding or provision of a type of infrastructure or a particular infrastructure project. Where five or more obligations relating to planning permissions granted by the City Council have been entered into since 6 April 2010 which provide for the funding or provision of the same infrastructure types or projects, it is unlawful to take further obligations for their funding or provision into account as a reason for granting planning permission. These restrictions do not apply to funding or provision of non-infrastructure items (such as affordable housing) or to requirements for developers to enter into agreements under Section 278 of the Highways Act 1980 dealing with highway works. The recommendations and detailed considerations underpinning them in this report have taken these restrictions into account.

The City Council has consulted on the setting of its own Community Infrastructure Levy, which is likely to be introduced in Spring 2016. In the interim period, the City Council has issued interim guidance on how to ensure its policies continue to be implemented and undue delay to development avoided. This includes using the full range of statutory powers available to the Council and working pro-actively with applicants to continue to secure infrastructure projects by other means, such as through incorporating infrastructure into the design of schemes and co-ordinating joint approaches with developers.

For reasons outlined elsewhere in this report, a S106 legal agreement will be required to secure the following:

- The provision of affordable housing for intermediate rent at 32-42 Buckingham Palace Road to be provided prior to the occupation of the market housing.
- Highway works including works to footways and crossovers.
- A financial contribution of £1,057,260 towards public realm improvements within the site boundary.

- The applicant to comply with the Council's Code of Construction Practice, provide a Site Environmental Management Plan prior to commencement of development and provide a financial contribution of £35,000 per annum during demolition and construction to fund the Environmental Inspectorate and monitoring by Environmental Sciences officers.
- Employment and Training Strategy for the construction phase and the operational phase of the development.
- Unallocated car parking.
- £40,000 to Transport for London towards a surface level pedestrian crossing on Grosvenor Place.
- £30,000 to Transport for London towards an improved crossing at Grosvenor Crescent

It is considered that the 'Heads of Terms' listed above satisfactorily address City Council policies. The planning obligations to be secured, as outlined in this report, are in accordance with the Community Infrastructure Levy Regulations (2010 as amended).

The proposal would attract a payment to the Mayor's Community Infrastructure Levy which could be dealt with by way of an Informative.

### **6.11 Environmental Assessment including Sustainability and Biodiversity Issues**

The application represents EIA development for the purposes of the Town and Country Planning (Environmental Impact Assessment) Regulations 2011. In putting forward this recommendation, officers have taken into account the Environmental Statement submitted with the application. Officers are satisfied that the environmental information as a whole meets the requirements of the EIA Regulations and that sufficient information has been provided to enable assessment of the environmental impact of the application.

#### Energy Strategy

Policy 5.2 of the London Plan refers to Minimising Carbon Dioxide Emissions and states that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the following energy hierarchy:

1. Be lean: use less energy
2. Be clean: supply energy efficiently
3. Be green: use renewable energy

City Plan Policy S40 considers renewable energy and states that all major development throughout Westminster should maximise on-site renewable energy generation to achieve at least 20% reduction of carbon dioxide emissions, and where feasible, towards zero carbon emissions, except where the Council considers that it is not appropriate or practicable due to the local historic environment, air quality and/or site constraints.

The application is accompanied by an Energy Strategy which sets out the sustainability credentials of the building. The key clean technology to be used is a combined heat and power unit. A small number of photovoltaics are proposed on the main roof. Overall, it has been calculated that a reduction of 1022 tonnes of CO<sub>2</sub> per year in regulated emissions compared to a 2013 Building Regulations compliant development is expected, equivalent to an overall saving of 36%. This exceeds the target set within Policy 5.2 of the London Plan.

London Plan policy requires 20% of car parking spaces in developments to have electric vehicle charging points and it is recommended that this be secured by condition.

### 6.12 Other Issues

None relevant.

### 6.13 Conclusion

With the imposition of conditions, and subject to a S106 agreement, the proposed development is considered acceptable in land use, design, amenity, highways and environmental terms.

## BACKGROUND PAPERS

1. Application form.
2. Memoranda from Arboricultural Manager dated 26 October 2015 and 24 August 2015.
3. Memorandum from Highways Planning Manager dated 28 October 2015.
4. Memorandum from Environmental Health dated 21 August 2015.
5. Letter from Greater London Authority dated 29 August 2015.
6. Letter from Transport for London dated 12 August 2015.
7. Letter from Historic England dated 31 July 2015.
8. Letter from Environment Agency dated 13 August 2015.
9. Letter from Natural England dated 23 July 2015.
10. Letter from Thames Water dated 23 July 2015.
11. Letter from Westminster Society dated 22 September 2015.
12. Letters from owner/occupier 3 Halkin Street dated 13 August and 12 August 2015
13. Letter from Central and North West London NHS Trust dated 10 August 2015.
14. Letter from Knightsbridge Medical Centre dated 10 August 2015.
15. Letters from owner/occupier 1-2b Halkin Street dated 10 August (x2) and 9 August 2015.
16. Letters from owner/occupier 2 Halkin Street dated 14 August and 9 August 2015.
17. Letter from owner/occupier first floor flat, 3 Halkin Street dated 10 August 2015.
18. Letter from 16 St Dionis Road, London dated 3 August 2015.
19. Letter from The Old Bakery, Milton Lilbourne, Pewsey dated 28 July 2015.
20. Letter from owner/occupier 13 Chapel Street, London dated 22 October 2015.
21. Letter from The Hongkong and Shanghai Hotels Limited dated 30 June 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – [mmason@westminster.gov.uk](mailto:mmason@westminster.gov.uk)



**DRAFT DECISION LETTER**

- Address:** Development Site At 1-5 Grosvenor Place, Yorkshire House, Grosvenor Crescent, 3, 4, 5, and 8 Pembroke Close and 12 Halkin Street, London, SW1X 7HJ
- Proposal:** Demolition of all existing buildings and comprehensive redevelopment to provide a mixed use development accommodated in a single building arranged around a central courtyard of lower ground, ground, eight upper floors, rooftop plant and basements. Use of new building for hotel comprising up to 190 guest rooms, restaurants/bars, ballroom, function rooms, hotel leisure/spa facilities, ancillary and back of house spaces (Class C1), 24-28 residential dwellings including ancillary residential leisure and amenity facilities (Class C3) and retail (Class A1) car and cycle parking with access from Grosvenor Crescent and Halkin Street, refuse, delivery and circulation spaces within basements and other associated works. (Site includes Yorkshire House, Grosvenor Crescent, 3, 4, 5 and 8 Pembroke Close and 12 Halkin Street London SW1)
- Plan Nos:** Site location plan - 1GP-HAP-XX-XX-DR-AR-0201.  
Proposed drawings - 1GP-HAP-XX-XX-DR-AR-0206, 1GP-HAP-XX-XX-DR-AR-0207, 1GP-HAP-XX-XX-DR-AR-0208, 1GP-HAP-XX-XX-DR-AR-0209, 1GP-HAP-XX-XX-DR-AR-0210, 1GP-HAP-XX-XX-DR-AR-0211, 1GP-HAP-XX-XX-DR-AR-0212, 1GP-HAP-XX-XX-DR-AR-0213, 1GP-HAP-XX-XX-DR-AR-0214, 1GP-HAP-XX-XX-DR-AR-0215, 1GP-HAP-XX-XX-DR-AR-0216, 1GP-HAP-XX-XX-DR-AR-0217, 1GP-HAP-XX-XX-DR-AR-0218, 1GP-HAP-XX-XX-DR-AR-0219, 1GP-HAP-XX-XX-DR-AR-0230, 1GP-HAP-XX-XX-DR-AR-0231, 1GP-HAP-XX-XX-DR-AR-0232, 1GP-HAP-XX-XX-DR-AR-0233, 1GP-HAP-XX-XX-DR-AR-0234, 1GP-HAP-XX-XX-DR-AR-0235, 1GP-HAP-XX-XX-DR-AR-0236, 1GP-HAP-XX-XX-DR-AR-0240, 1GP-HAP-XX-XX-DR-AR-0241, 1GP-HAP-XX-XX-DR-AR-0242, 1GP-HAP-XX-XX-DR-AR-0243, 1GP-HAP-XX-XX-DR-AR-0248, 1GP-HAP-XX-XX-DR-AR-0260, 1GP-HAP-XX-XX-DR-AR-0261, 1GP-HAP-XX-XX-DR-AR-0262, 1GP-HAP-XX-XX-DR-AR-0263, 1GP-HAP-XX-XX-DR-AR-0264 and 1GP-HAP-XX-XX-DR-AR-0265.

**Case Officer:** Matthew Mason**Direct Tel. No.** 020 7641 2926**Recommended Condition(s) and Reason(s):**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

**Reason:**

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

\* between 08.00 and 18.00 Monday to Friday;

- \* between 08.00 and 13.00 on Saturday; and
- \* not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless except as may be exceptionally agreed by other regulatory regimes such as the police, by the highways authority or by the local authority under the Control of Pollution Act 1974.

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 **Pre-Commencement Condition:** No development shall take place until a Construction Logistics Plan for the proposed development has been submitted to and approved in writing by the City Council as local planning authority in consultation with Transport for London (see informative 2).

Reason:

To ensure that the construction logistics for the development minimise nuisance and disturbance in the interests of the amenities of neighbouring occupiers and of the area generally, and to avoid hazard and obstruction to the public highway. This is as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and ENV 5 of our Unitary Development Plan that we adopted in January 2007.

- 4 Notwithstanding what is shown on drawing (90)LP001 Rev D, you must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes existing features to be removed, the number, size, species and position of trees and shrubs, the design and layout of the internal courtyard and the landscaping and planting of the terraces on upper floors. You must not start work on the relevant part of the development until we have approved what you have sent us. The hard landscaping must be carried out within 6 months of completing the development and the soft landscaping within one planting season of completing the development (or within any other time limit we agree to in writing).

Reason:

To ensure that the public realm works are acceptable in highways terms and to ensure that replacement tree planting is provided to compensate for the loss of existing trees that surround the site. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, TRANS 2, TRANS 3, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 5 Notwithstanding what is set out in the planning application documents, you must apply to us for full details of the formative reduction to the eastern canopy of Tree 8 set within the south eastern corner of the grounds of Forbes House. You must not start any above ground works until we have approved what you have sent us. Thereafter you must carry out the development in accordance with the details approved.

Reason:

To make sure that the works carried out to this tree do not adversely impact on its health and structural form. This is as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 6 **Pre Commencement Condition.** You must apply to us for approval of the ways in which you will protect the street tree on Grosvenor Place. You must not start any demolition, site clearance or building work, and you must not take any equipment, machinery or materials for the development onto the site, until we have approved what you have sent us. The tree protection must follow the recommendations in section 7 of British Standard BS5837: 2005. You must then carry out the work according to the approved details. (C31AC)

Reason:

To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 7 (a) No development shall take place until you have secured the implementation of a programme of archaeological investigation in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the local planning authority in writing.
- (b) No development shall take place other than in accordance with the Written Scheme of Investigation approved under Part (A).
- (c) The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the Written Scheme of Investigation approved under Part (A)., and the provision made for analysis, publication and dissemination of the results and archive deposition has been secured.

Reason:

- 8 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless

and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- (a) A schedule of all plant and equipment that formed part of this application;
  - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
  - (c) Manufacturer specifications of sound emissions in octave or third octave detail;
  - (d) The location of most affected noise sensitive receptor location and the most affected window of it;
  - (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
  - (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
  - (g) The lowest existing L A90, 15 mins measurement recorded under (f) above;
  - (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
  - (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 9 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 10 You must apply to us for approval of details of a supplementary acoustic report demonstrating

that the plant will comply with the Council's noise criteria as set out in Condition 8 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 11 (1) Noise emitted from the emergency plant and generators hereby permitted shall not increase the minimum assessed background noise level (expressed as the lowest 24 hour LA90, 15 mins) by more than 10 dB one metre outside any premises.
- (2) The emergency plant and generators hereby permitted may be operated only for essential testing, except when required by an emergency loss of power.
- (3) Testing of emergency plant and generators hereby permitted may be carried out only for up to one hour in a calendar month, and only during the hours 09.00 to 17.00 hrs Monday to Friday and not at all on public holidays.

Reason:

As set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 7 (B) of our Unitary Development Plan that we adopted in January 2007. Emergency and auxiliary energy generation plant is generally noisy, so a maximum noise level is required to ensure that any disturbance caused by it is kept to a minimum and to ensure testing and other non-emergency use is carried out for limited periods during defined daytime weekday hours only, to prevent disturbance to residents and those working nearby.

- 12 The design and structure of the development shall be of such a standard that it will protect residents within residential units fronting onto Halkin Street (shown on drawing xx) from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night. The indoor levels to residential units fronting Grosvenor Place and the return elevation on Halkin Street (shown on drawing xx) may be relaxed by up to 5 dB.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 13 No vibration shall be transmitted from the Piccadilly Line so as to cause a vibration dose value of greater than 0.4m/s(1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential property.

The design and structure of the development shall be of such a standard that it will protect residents within it from ground-borne noise from the Piccadilly line so that they are not exposed to levels indoors of more than 35 dB LASmax within habitable rooms during day and night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same building from noise and vibration from the Underground line.

- 14 Should at any time the hotel car park require vehicle owners to park their own cars (rather than operating on a valet basis), no less than 10% of the hotel parking spaces available for guest parking should be dedicated to blue badge parking and laid out accordingly.

Reason:

To ensure that an appropriate amount of blue badge parking is provided in accordance with TRANS 22 of our UDP that we adopted in January 2007.

- 15 You must use the parking, access, loading, unloading and manoeuvring areas shown on the approved plans only for those purposes. (C23AA)

Reason:

To make sure that the service bay will be available for all types of vehicles for which it has been designed, to avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23BB)

- 16 With the exception of collecting rubbish, no goods (including fuel) that are delivered or collected by vehicles arriving at or leaving the building must be accepted or sent out if they are unloaded or loaded on the public road. You may accept or send out such goods only if they are unloaded or loaded within the boundary of the site. (C23CB)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 17 Other than doors which are used exclusively for fire exit purposes in an emergency situation, you must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS

3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 18 You must provide each residential car parking space shown on the approved drawings and each car parking space shall only be used for the parking of vehicles of people living in the residential part of this development. (C22BA)

Reason:

To provide parking spaces for people living in the residential part of the development as set out in STRA 25 and TRANS 23 of our Unitary Development Plan that we adopted in January 2007. (R22BB)

- 19 You must provide a maximum of 68 hotel car parking spaces. These parking spaces can only be used for the operational fleet of the hotel or to provide parking for residents or guests of the hotel.

Reason:

An exceptional case has been made by the applicant for the provision of car parking for the operation fleet of the hotel and for residents of the hotel only. This is as set out in Policy TRANS 22 of our UDP that we adopted in January 2007.

- 20 You must provide the cycle parking within the development for the residential, retail and hotel uses prior to occupation of any part of the development. Thereafter the cycle spaces must be retained and the spaces used for no other purpose.

Reason:

To provide cycle parking spaces for people living in or working in the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 21 You must provide the facilities for the storage and collection of waste and recyclable material for the residential, retail and hotel uses prior to occupation of any part of the development. Thereafter these facilities must be retained and the spaces used for no other purpose.

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

- 22 You must apply to us for approval of a final Operational Management Plan for the hotel and its ancillary facilities (based upon the draft Operational Management Plan submitted within the application). You must not occupy any part of the hotel until we have approved what you have sent us. You must then operate the hotel in accordance with the approved details.

Reason:

To make sure that the hotel does not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 2 and TACE 10 and ENV 6 of our Unitary Development Plan that we adopted in

January 2007. (R05GB)

- 23 You must provide a maximum of 28 residential units, as shown on the drawings hereby approved, and not less than 24 residential units within the building. Prior to the occupation of the residential units, you must apply to us for approval of amended drawings showing the final layout of the residential accommodation. You must then carry out the development in accordance with the amended drawings that we approve.

Reason:

To finalise the number of residential units within the development and to ensure that an appropriate layout for the residential flats is provided. This is as set out in S15 of Westminster's City Plan: Strategic Policies that we adopted November 2013.

- 24 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 25 Notwithstanding that shown on the approved plans, you must apply to us for approval of revised drawings of the projecting canopy to the Grosvenor Crescent facade. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to these details.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 26 You must apply to us for approval of detailed drawings of the following parts of the development:

- i) new windows at a scale of 1:10
- ii) new doors at a scale of 1:10
- iii) new balustrades and railings at a scale of 1:10

You must not start work on these parts of the development until we have approved what you



have sent us. You must then carry out the works according to these details.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 27 You must not carry out demolition work unless it is part of the complete development of the site. You must carry out the demolition and development without interruption and according to the drawings we have approved. (C29BB)

Reason:

To maintain the setting of the Belgravia and Royal Parks Conservation Areas and adjacent listed buildings as set out in S25 of Westminster's City Plan Strategic Policies that we adopted in November 2013 and DES 9 and DES 10 of our Unitary Development Plan that we adopted in January 2007.

- 28 You must apply to us for approval of a scheme relating to the following parts of the development:-

Installation of 20% active and 20% passive electric vehicle charging points, and management of take up and conversion of the 20% passive provision in the basement car park.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then implement the approved scheme prior to first occupation, and thereafter manage and maintain it for the lifetime of the development.

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 29 You must provide the following environmental sustainability features (environmentally friendly features) before you start to use any part of the development, as set out in your application.

combined heat and power unit (energy centre)

You must not remove any of these features. (C44AA)

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 30 You must apply to us for approval of details of the following parts of the development:

- biodiversity roof.
- biodiversity roof management plan
- bird and bat boxes.

You must not start work on these parts of the development until we have approved what you have sent us. Thereafter you must carry out and manage the development in accordance with the details approved.

Reason:

To increase the biodiversity of the environment, as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R43FB)

- 31 You must apply to us for approval of details of all vehicle entrances and exits to ensure adequate visibility splays are provided.

You must not start work on these parts of the development until we have approved what you have sent us. Thereafter you must carry out the development in accordance with the details approved.

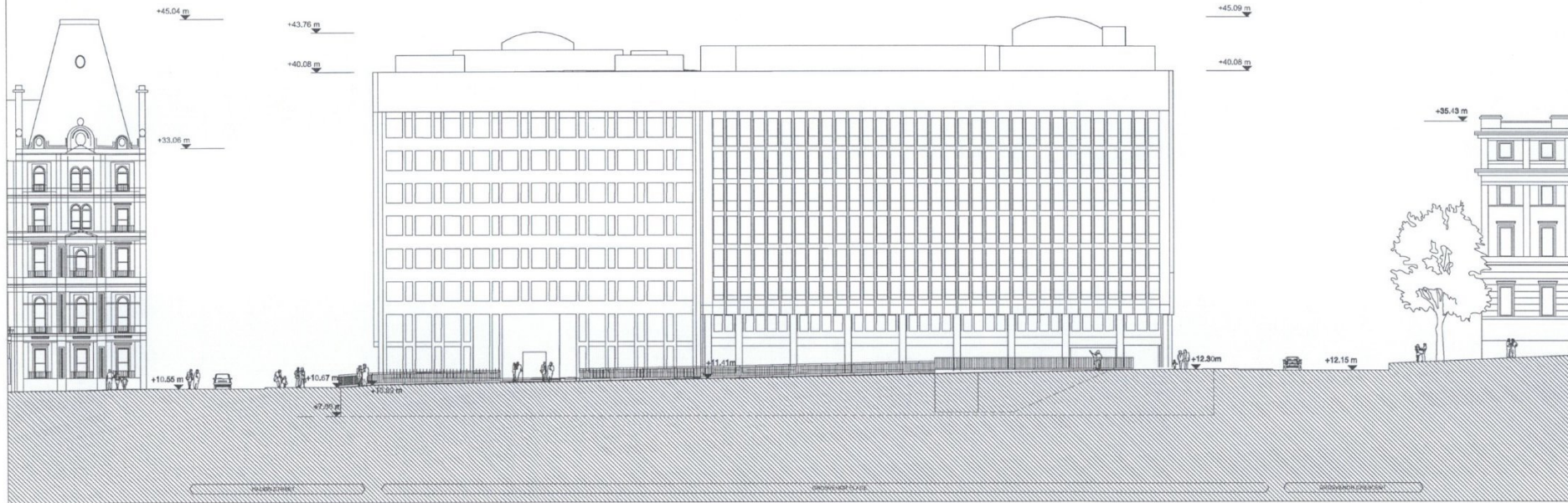
Reason:

In the interests of public safety as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24BC)

**Informative(s):**

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 You are advised that the construction logistics plan must include details of the cycle safety measures that will be implemented during demolition and construction such construction vehicles being fitted with side-bars, blind spot mirrors and cycle detection equipment. Please consult with TfL over the preparation of the construction logistics plan as they are the highways authority for Grosvenor Place.
- 3 This permission is governed by a legal agreement between the applicant and us under Section 106 of the Town and Country Planning Act 1990. The agreement relates to:

- i) The provision of affordable housing for intermediate rent at 32-42 Buckingham Palace Road to be provided prior to the occupation of the market housing.
  - ii) Highway works around the site including works to footways and crossovers.
  - iii) A financial contribution of £1,057,260 towards public realm improvements within the site boundary.
  - iv) The applicant to comply with the Council's Code of Construction Practice, provide a Site Environmental Management Plan prior to commencement of development and provide a financial contribution of £35,000 per annum during demolition and construction to fund the Environmental Inspectorate and monitoring by Environmental Sciences officers.
  - v) Employment and Training Strategy for the construction phase and the operational phase of the development.
  - vi) £40,000 to Transport for London towards a surface level pedestrian crossing on Grosvenor Place.
  - vii) £30,000 to Transport for London towards an improved crossing at Grosvenor Crescent
  - viii) Unallocated car parking.
- 4 This development has been identified as potentially liable for payment of the Mayor of London's Community Infrastructure Levy (CIL). Responsibility for paying the levy runs with the ownership of the land, unless another party has assumed liability. We will issue a CIL Liability Notice to the landowner or the party that has assumed liability with a copy to the planning applicant as soon as practicable setting out the estimated CIL charge.
- If you have not already done so you must submit an **Assumption of Liability Form** to ensure that the CIL liability notice is issued to the correct party. This form is available on the planning portal at <http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil> Further details on the Mayor of London's Community Infrastructure Levy can be found on our website at: <http://www.westminster.gov.uk/services/environment/planning/apply/mayoral-cil/>. **You are reminded that payment of the CIL charge is mandatory and there are strong enforcement powers and penalties for failure to pay.**



- General Notes:**
- G1 For files and G&B setting out refer to ACP1-01603
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance datum (AOD) 017-10  
01-00-10  
EX-23-145  
Level Levels are shown thus:  
Height of Existing Level:
  - G5 Use Square dimensions only; Do not scale from drawings. P. P. DOUGLASS, AIA.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For References see the Design Drawings and Specifications
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 110  
111
  - G10 Door(D) & Window(W) References are shown thus: 110  
111
  - G11 Clear height is shown thus (Dimension line to finished ceiling) 110  
111
  - G12 T Sheet Reference shown thus: 110  
111
  - G13 Finishes are shown thus: 110  
111
  - G14 Setting Out Points shown thus: 110  
111
  - G15 Refer to ACP1-01603 for T Sheet references, and to ACP1-01605 for Architectural Specifications.

Note

Work Package	Cost Check	Instruction	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	1-5 Grosvenor Place	Drawing Number
										30.06.2015	PA1	Planning Application Submission	AP	Subject	Elevation to Grosvenor Place Existing	1GP-HAP-XX-XX-DR-AR-0142
														Architects	Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 6LG T: 020 7726 1701 E: info@hopkins.co.uk	Date 30.06.2015 Scale 1:200 at A1
																Rev. PA1



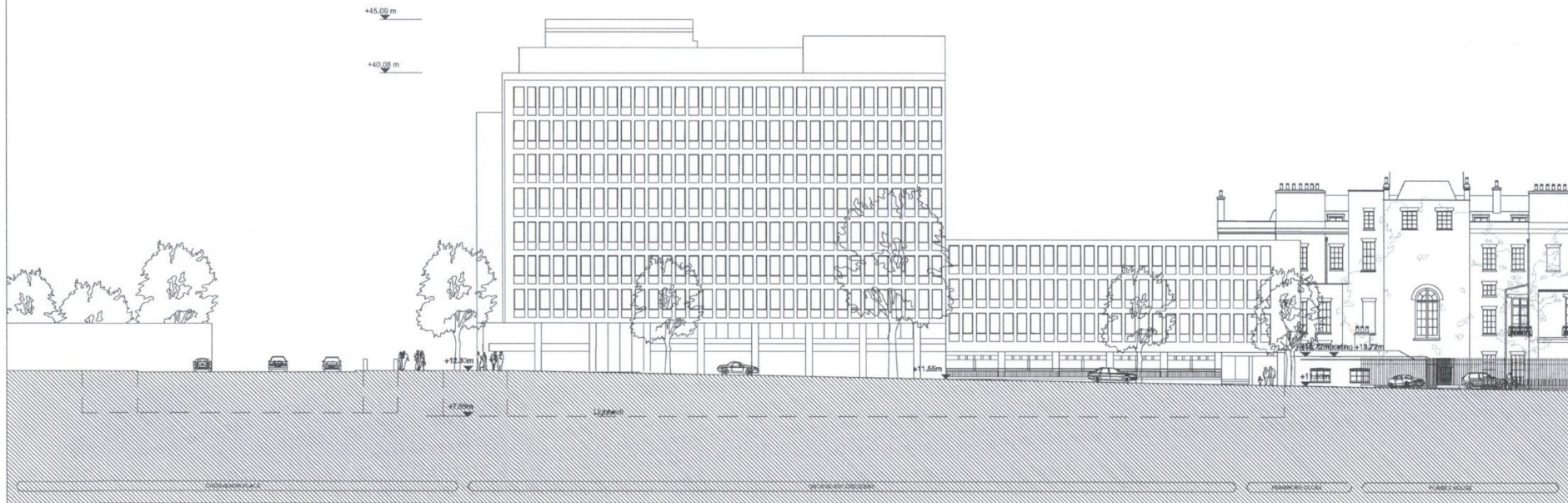
- General Notes:**
- G1 For Site and GDG setting out refer to A/GP1-61002
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance datum (AOD)  
New Levels are shown thus: 100.00  
Existing Levels are shown thus: 100.00  
Heighted Existing Levels: 100.00
  - G5 Use Square dimensions only. Do not write from drawings. If in DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For tolerances see the Design Drawings and Specifications
  - G8 For elements of work subject to Contractor's Design, this drawing is indication of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation within the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 100
  - G10 Door(s) & Window (W) References are shown thus: 100
  - G11 Clear Height is shown thus (reference here to relevant part): 2700
  - G12 T Sheet Reference is shown thus: 100
  - G13 Fixtures are shown thus: 100
  - G14 Surveying Old Points shown thus: 100
  - G15 Refer to A/GP1-49000 for T Sheet references, and to A/GP1-49000 for Architectural Specifications.










**Note**

External Lighting to ramps, stairs, etc. shall refer to the relevant drawings for details. For further external lighting details refer to drawings 10P-HAP-XX-XX-DR-AR-0200 to 0205. For further external lighting and road signage strategy refer to the Design & Access Statement.

New trees shown indicatively.

Work Package	Cost Check	Info/Booking	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Architect	Date	Rev.	Scale	Drawing Number
										30.06.2015	PA1	Planning Application Submission	AP	1-5 Grosvenor Place	Grosvenor Place General Arrangement Elevation	Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 8LL T: 020 7724 1951 E: mail@hopkins.co.uk	30.06.2015	PA1	1:200 at A1	1GP-HAP-XX-XX-DR-AR-0240



- General Notes:**
- G1 For title and Grid setting out refer to A/GP1-01002
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are shown Ordnance datum (AOD)  
New Levels are shown thus:   
Existing Levels are shown thus:   
Traditional Existing Levels: 
  - G5 Use Imperial dimensions only. Do not scale from drawings. If IN DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specifications, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 
  - G10 Door (D) & Window (W) References are shown thus: 
  - G11 Clear height is shown thus:   
(Indicated here as 2.10m net Ht)
  - G12 T Sheet Reference shown thus: 
  - G13 Finishes are shown thus: 
  - G14 Setting Out Points shown thus: 
  - G15 Refer to A/GP1-00200 for T Sheet references, and to A/GP1-00000 for Architectural Specifications.

Notes

Work Package	Cost Check	Modelling	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Architects	Drawing Number
						30.06.2015	PA1	Planning Application Submission	AP				AP	1-5 Grosvenor Place	Elevation to Grosvenor Crescent Existing	Hopkins Architects Partnership LLP 27 Broadway Terrace, London, NW1 6LG T: 020 7724 1751 E: info@hopkins.co.uk	1GP-HAP-XX-XX-DR-AR-0140
																	Date 30.06.2015 Rev. PA1
																	Scale 1:200 at A1



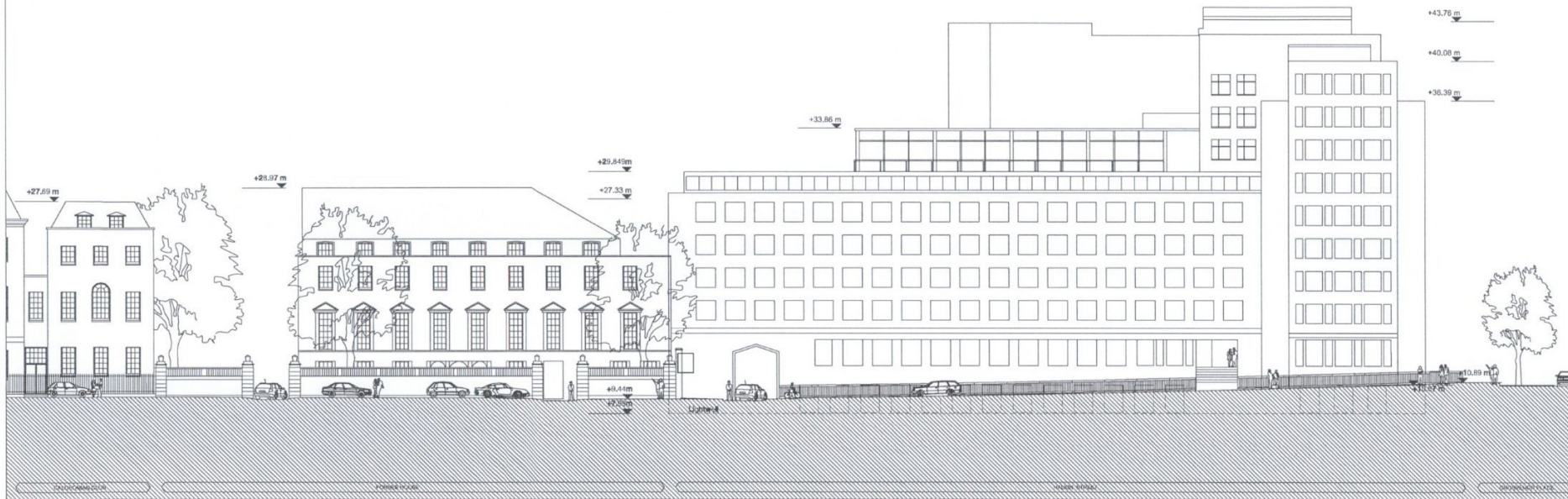
- General Notes:**
- G1 For file and GIM setting out refer to A/GP1-01/022
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above reference datum (AOD)
    - Base Levels are shown thus: CL
    - Working Levels are shown thus: CW
    - Final or Existing Levels: EL
  - G5 Use typical dimensions only. Do not scale from drawings. F IN DCU/ST, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specification, design drawings, contract terms and control documents.
  - G9 Room numbers are shown thus: 101
  - G10 Door(s) & Window (W) References are shown thus: D10 W10
  - G11 Clear height is shown thus: CH
  - G12 T Sheet References are shown thus: T10
  - G13 Finishes are shown thus: FIN
  - G14 Setting Out Public shown thus: DOP
  - G15 Refer to A/GP1-05/020 for T Sheet references, and to A/GP1-05/020 for Architectural Specifications.

**Note**

External lighting to terraces, courtyard, entrance, retail units and facade to be developed.  
 For indicative external lighting locations refer to drawings ICP+HAP-XX-XX-CHAR-020 to 026.  
 For indicative external lighting and mail storage strategy refer to the Design & Access Statement.

New trees shown indicatively.

Work Package	Cost Check	Info/Modeling	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Drawing Number
										30.06.2015	PA1	Planning Application Submission	AP	1-5 Grosvenor Place	1GP-HAP-XX-XX-DR-AR-0241
														Grosvenor Crescent General Arrangement Elevation	Date: 30.06.2015 Rev. PA1
														Architects: Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 6LD T: 020 7724 1791 E: mail@hopkins.co.uk	Scale: 1:200 @ A1



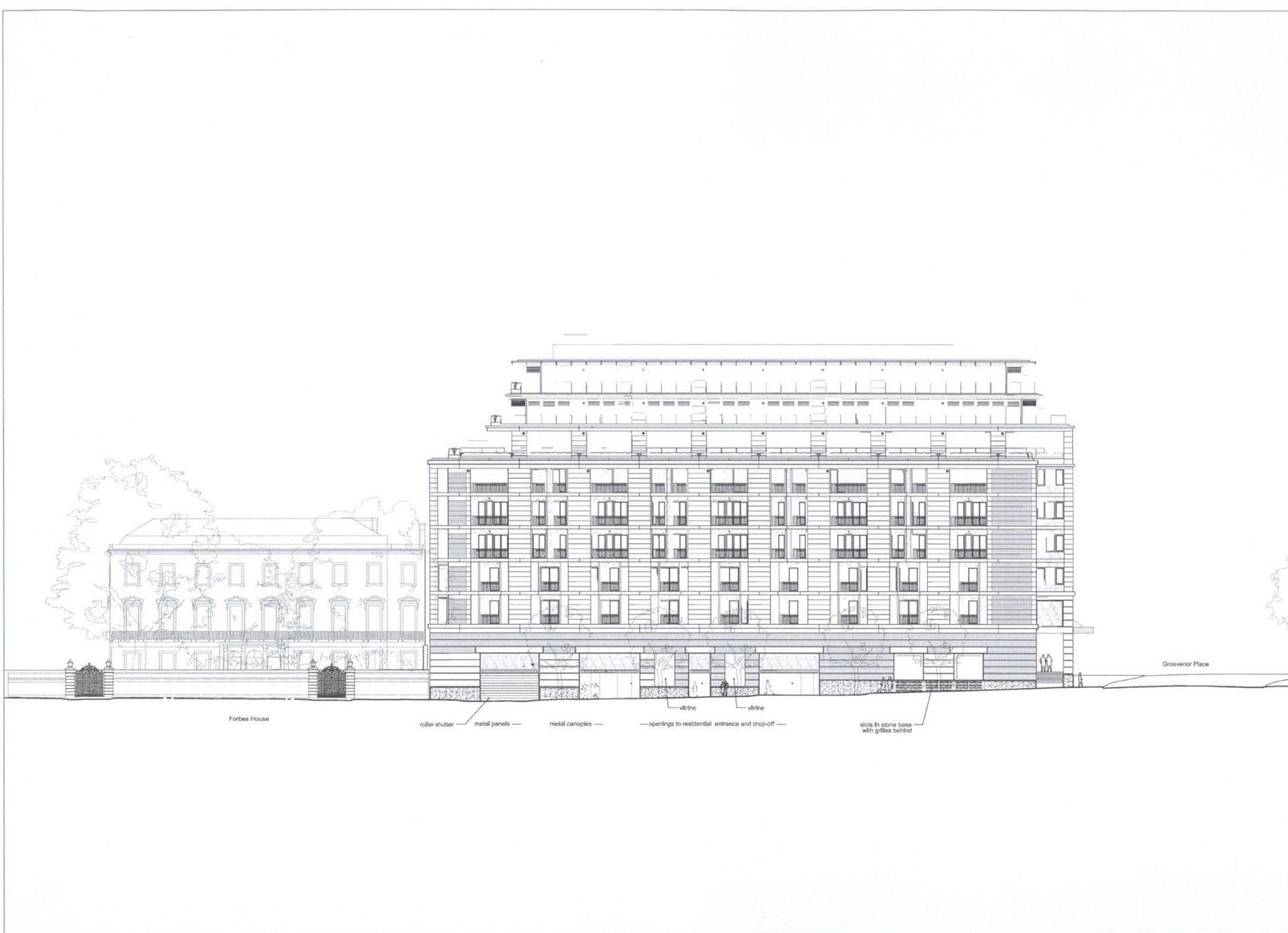
- General Notes:**
- G1 For Site and GRF setting out refer to ACP1-01602
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above orthogne datum (AOD)
    - New Levels are shown thus: 27.33
    - Existing Levels are shown thus: 27.33
    - Revised Existing Levels: 27.33
  - G5 Use figure dimensions only. Do not scale from drawings. If in doubt, check.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For tolerances see the Design Drawings and Specifications
  - G8 For elements of work subject to Contractor's Design, this drawing is indication of the detail & performance requirements only. The Contractor is responsible for the detailed design and co-ordination of the installation with the parameters defined in the specifications, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 101
  - G10 Door(s) & Window (W) References are shown thus: A1
  - G11 Clear height is shown thus: 2.10
  - G12 T Sheet Reference shown thus: T001
  - G13 Finishes are shown thus: SOP
  - G14 Sighting Out Points shown thus: SOP
  - G15 Refer to ACP1-01620 for T Sheet references, and to ACP1-01602 for Architectural Symbols.

**Note**

Work Package	Cost Check	Structuring	Trade	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project
						30.06.2015		Planning Application Submission	AP				AP	1-5 Grosvenor Place
														Subject: Elevation to Hallin Street Existing
														Architects: Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 6LG T: 020 7724 1751 E: mail@hopkins.co.uk

Drawing Number	
<b>1GP-HAP-XX-DR-AR-0141</b>	
Date: 30.06.2015	Rev. <b>PA1</b>
Scale: 1:200 at A1	





- General Notes:**
- G1 For Site and Grid setting out refer to AGP1-01102
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance Datum (AOD)
 

Finished	100
Existing	100
Finished	100
Existing	100
  - G5 Use agreed dimensions only. Do not scale from drawings. If IN DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For dimensions see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters outlined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus:
 

101
102
103
104
  - G10 Door/D & Window (W) References are shown thus:
 

101
102
103
104
  - G11 Clear height is shown thus:
 

101
102
103
104
  - G12 T Sheet Reference shown thus:
 

101
102
103
104
  - G13 Finishes are shown thus:
 

101
102
103
104
  - G14 Setting Out Points shown thus:
 

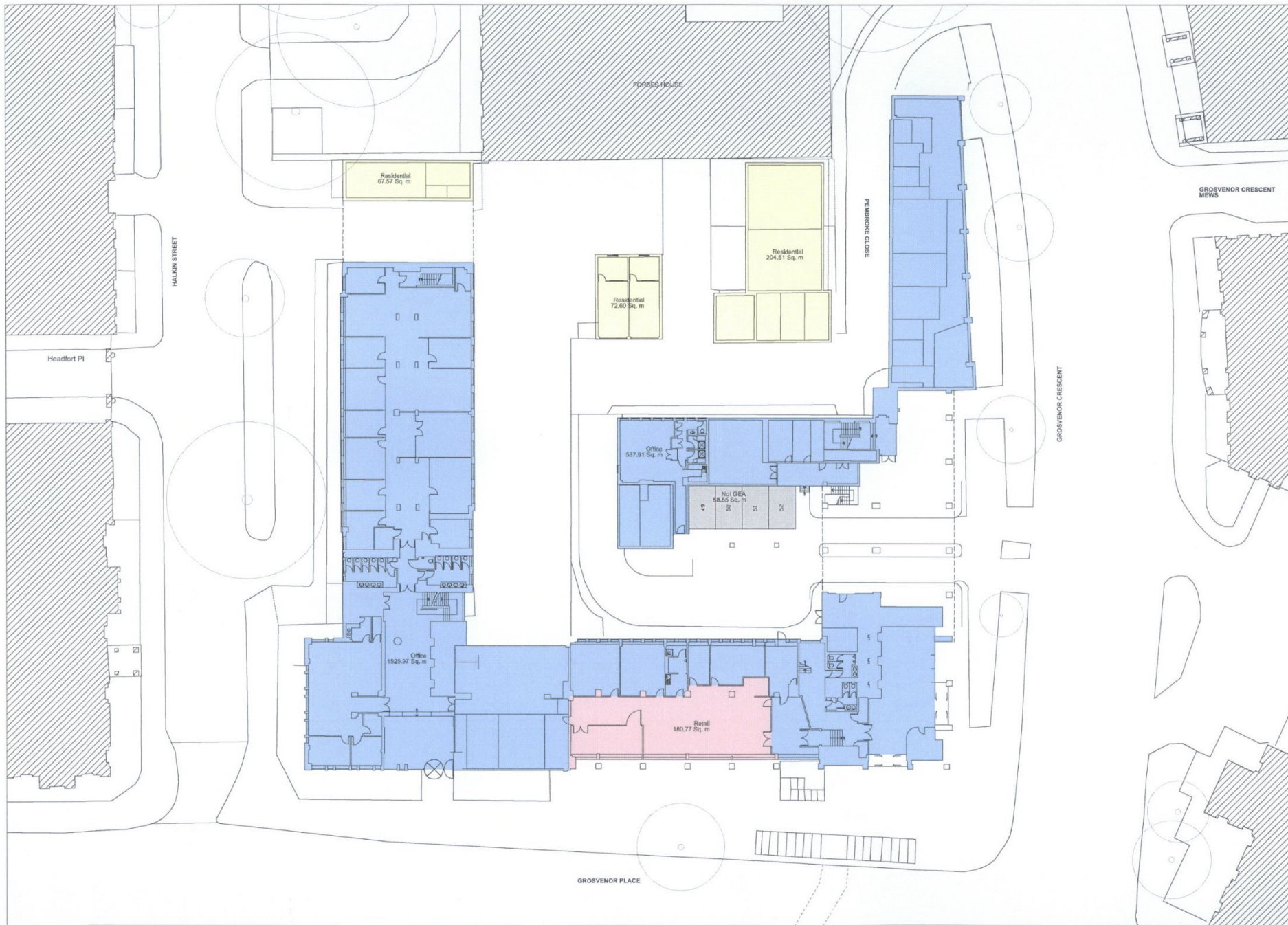
101
102
103
104
  - G15 Refer to AGP1-05020 for T Sheet references, and to AGP1-05020 for Architectural Specifications.

**Note**

⊕ Indicate location of ventilation grilles concealed behind metal panels and/or screens

How Iron shown Indistinctly

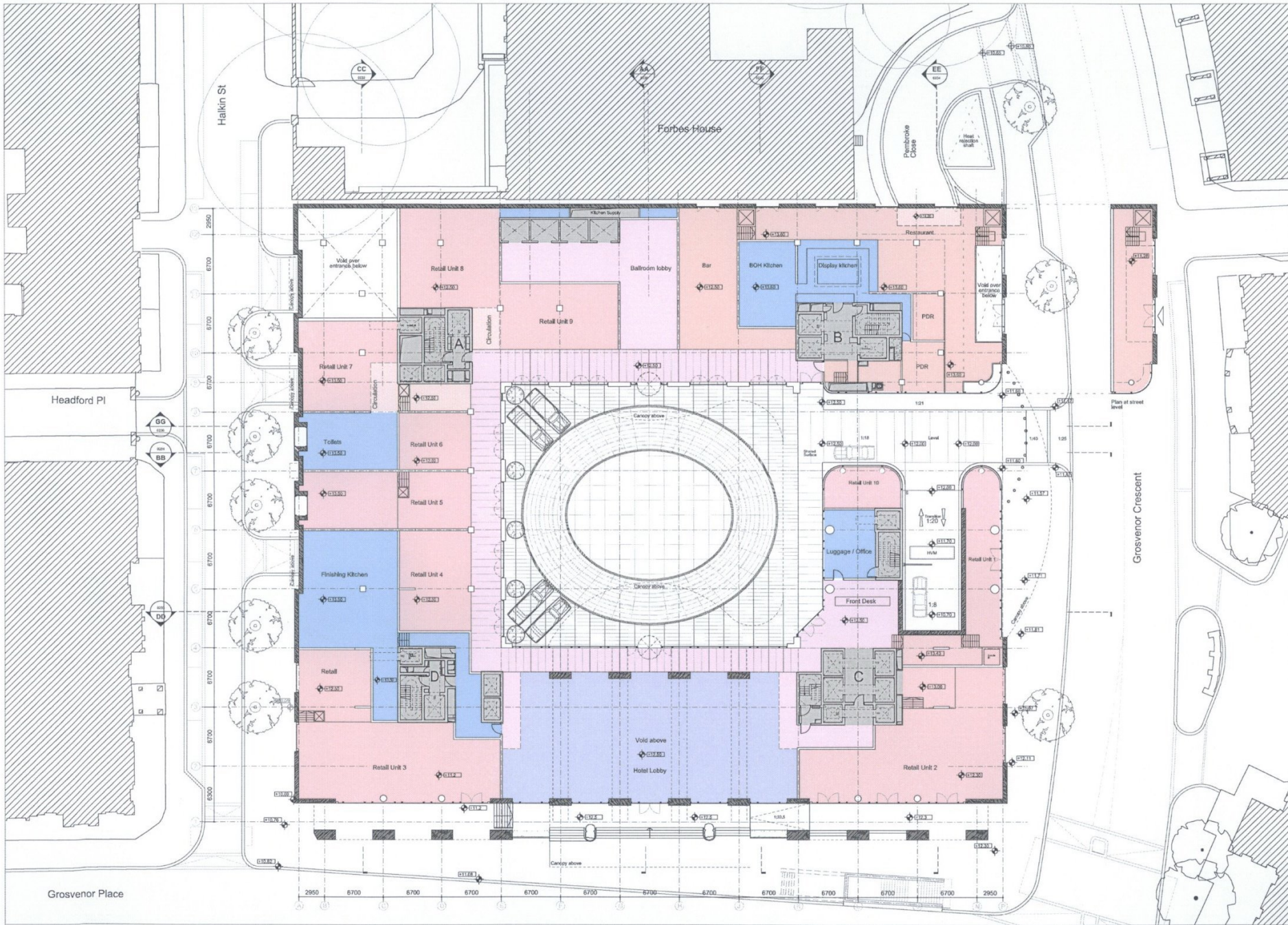
Work Package	Cost Check	Info/Modeling	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Drawing Number
										30 JUN 2015	PA1	Planning Application Submission	AP	1-5 Grosvenor Place	1GP-HAP-XX-XX-DR-AR-0242
														Subject	Halkin Street General Arrangement Elevation
														Architects	Hopkins Architects Partnership LLP 27 Broadway Terrace, London, NW1 6LG T: 020 7724 1791 E: info@hopkins.co.uk
														Date	30.06.2015
														Rev.	PA1
														Scale	1:200 @ A1



- General Notes:**
- G1 For file and G&B setting out refer to A/S/1-5/1602
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance datum (AOD) unless Levels are shown thus:  
Existing Levels are shown thus: E.L.  
Finished Existing Levels: E.L.F.S.
  - G5 Use Square dimensions only! Do not scale from drawings. If in DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For Substances see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is the basis of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the finished work with the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 101
  - G10 Doors (D) & Windows (W) References are shown thus: D101
  - G11 Clear Height is shown thus: 2700
  - G12 T-Shoot Reference shown thus: T501
  - G13 Finishes are shown thus: W501
  - G14 Setting Out Points shown thus: 101
  - G15 Refer to A/S/1-5/1602 for T-Shoot references, and to A/S/1-5/1600 for Architectural Specifications.

**Note**

Work Package	Cost Check	Info/Issuing	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Drawing Number					
						30.06.2015	PA1	Planning Application Submission						1-5 Grosvenor Place	Ground Floor Level	<b>1GP-HAP-XX-XX-DR-AR-0110</b>					
														Architects	Hopkins Architects Partnership LLP 27 Broadley Terrace, London NW1 4LG T: 020 7724 1751 E: mail@hopkins.co.uk	Date	30.06.2015	Rev.	PA1	Scale	1:200 at A1



- General Notes:**
- G1 For title and G&S setting out refer to AGP/1-01002
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance datum (AOD)
    - Roof Levels are shown thus: R100
    - Existing Levels are shown thus: E100
    - Final/Proposed Levels: F100
  - G5 Use Scaled dimensions only. Do not scale from drawings. If IN DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, the drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters outlined in the specifications, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 101
  - G10 Doors & Windows (W) References are shown thus: D101
  - G11 Clear height is shown thus: 2.10
  - G12 T Sheds Reference shown thus: T101
  - G13 Fixtures are shown thus: F101

**Note**

- Number of total units and sub-divisions/sections shown on drawing
- Contractor design indicative
- External public realm indicative
- Internal layout indicative only
- Indicative security measures - color indicator
- Indicative security measures - AM Barrier
- Indicative security measures - FHM Barrier
- Indicative security measures - Perimeter Lockdown

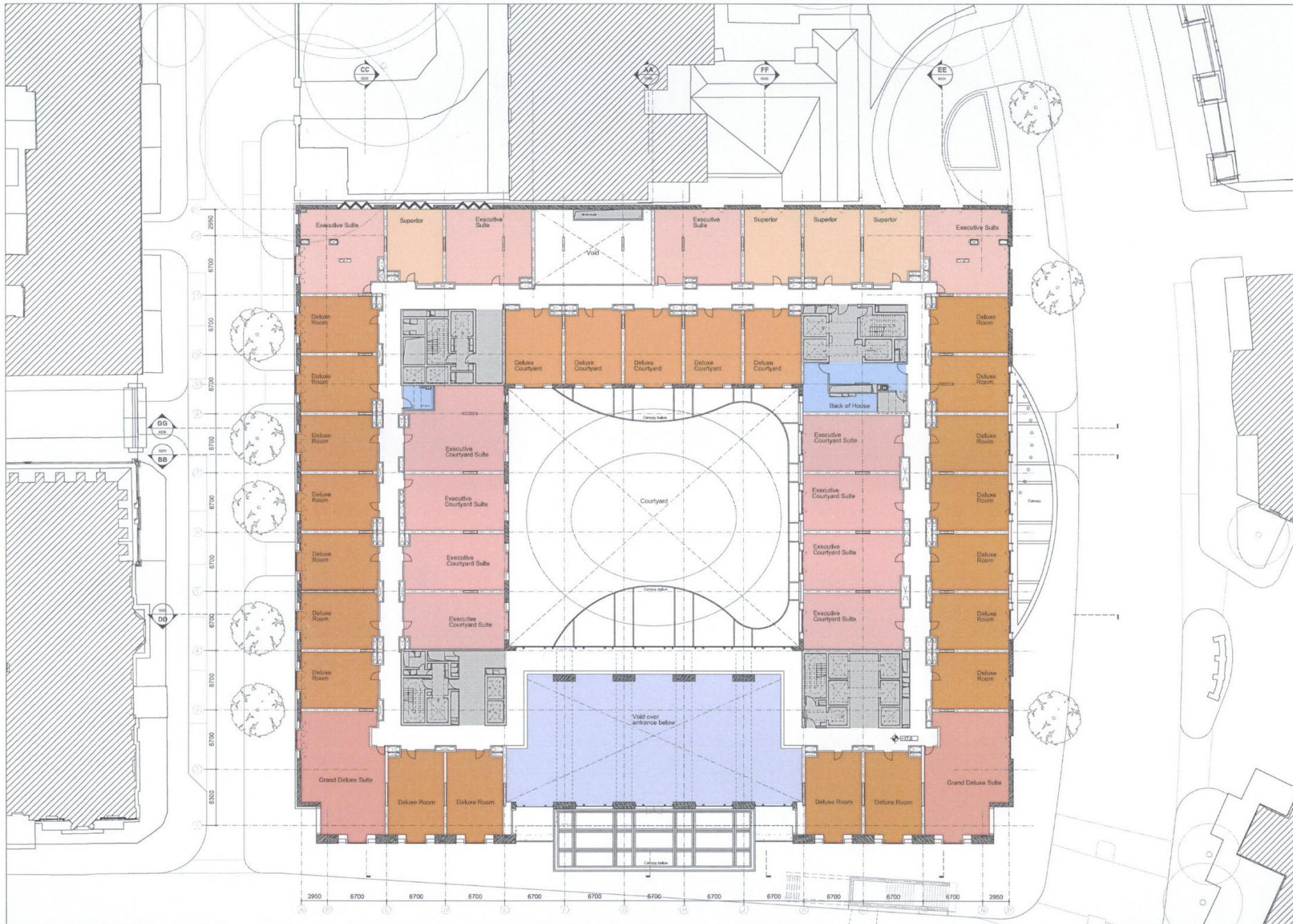
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**Cores**

- A - Primary Residential Core
- B - Hotel Service Core
- C - Hotel Guest Core
- D - Primary Residential Core

- Back of House
- Hotel Lobby and Restaurant
- Circulation and Bathroom Entrance
- Bar
- Retail
- Retail Circulation/Entrance

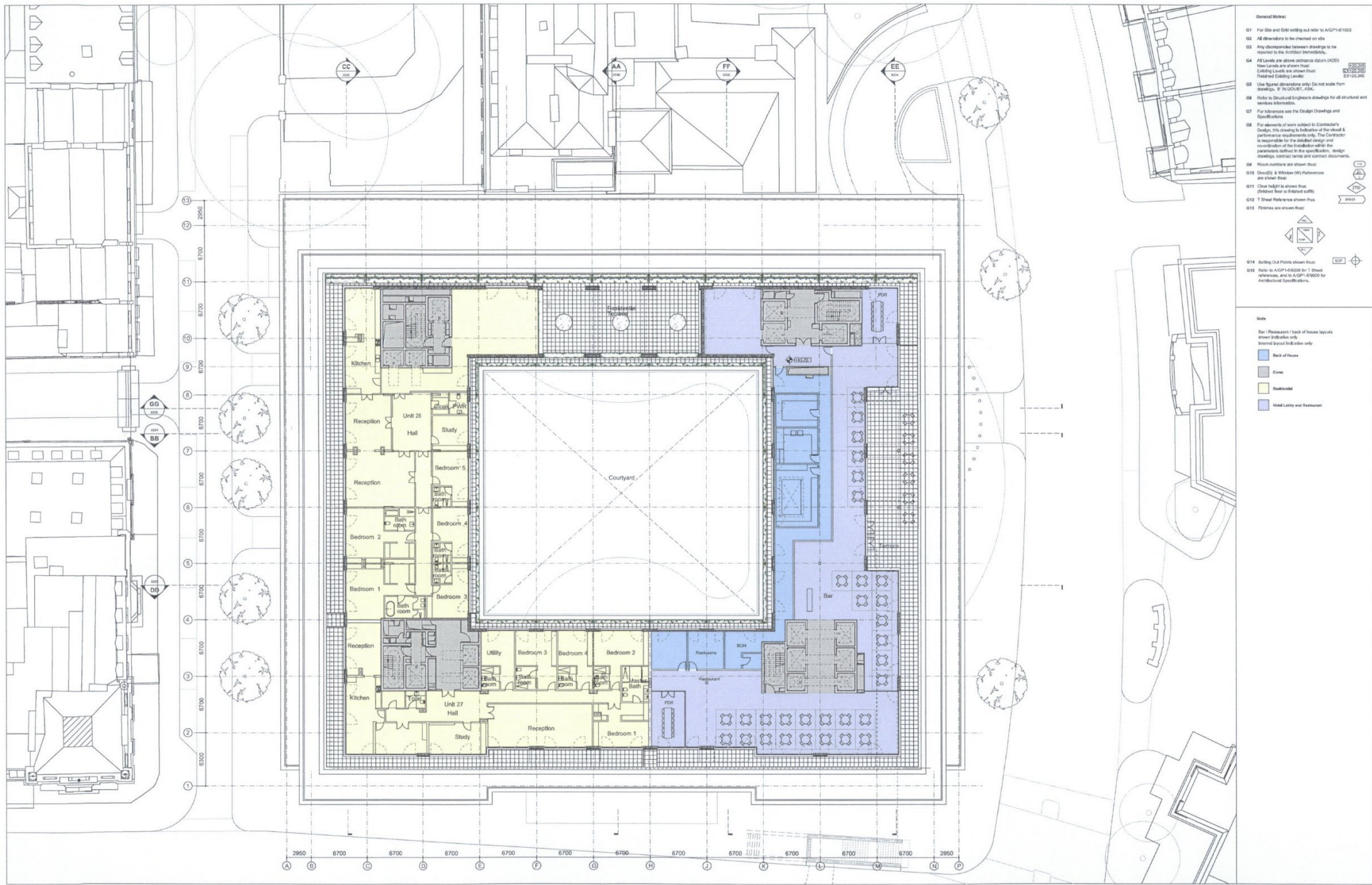
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																	Date 30.06.2015 Rev. PA1
																	Scale 1:200 at A1



- General Notes:**
- G1 For Size and Grid setting out refer to ACP1-01602
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the architect immediately.
  - G4 All Levels are above Ordnance datum (AOD) unless Levels are shown from Finished Existing Levels.
  - G5 Use Spread dimensions only. Do not scale from drawings. If in doubt, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the usual performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus:
  - G10 Door (D) & Window (W) References are shown thus:
  - G11 Clear height is shown thus (where Not to be reduced suits)
  - G12 T Street Reference shown thus
  - G13 Finishes are shown thus:

- Note**
- Internal residential layouts indicate Internal wall locations / floor position indicators.
- Guest Room - Deluxe Courtyard
  - Guest Room - Deluxe Room
  - Guest Room - Executive Courtyard Suite
  - Guest Room - Executive Suite
  - Guest Room - Grand Deluxe Suite
  - Guest Room - Superior
  - Back of House
  - Core
  - Hotel Lobby and Restaurant

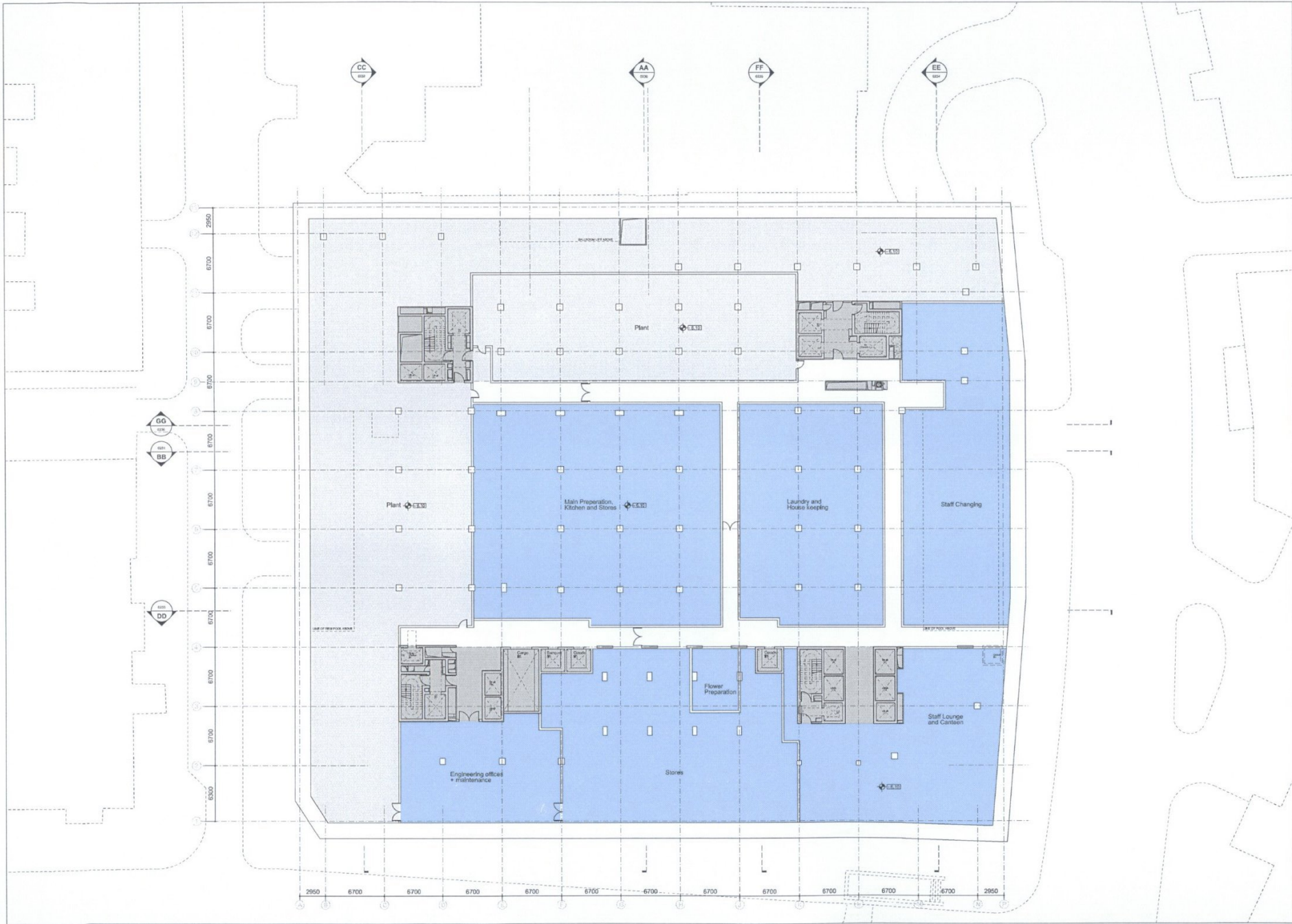
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										30.06.2015	PA1	Planning Application Submission	AP	1-5 Grosvenor Place	Level 01 General Arrangement Plan	topkins Architects Partnership LLP 37 Broadway Terrace, London, W1F 8LG T: 020 7724 1751 E: mail@topkins.co.uk	1GP-HAP-XX-XX-DR-AR-0211
																	Date 30.06.2015 Scale 1:200 at A1
																	Rev. PA1



- General Notes:**
- G1 For Site and Grid setting out refer to ADP1-01/102
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance datum (AOD)
    - New Levels are shown thus: NEW
    - Existing Levels are shown thus: EXIST
    - Finished Existing Levels: FSL
  - G5 Use Imperial dimensions only. Do not scale from drawings. If IN DOUBT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the trade-off with the parameters defined in the specification, design strategy, contract terms and contract documents.
  - G9 Room numbers are shown thus:
    - G10 Door(s) & Window(s) References are shown thus: D10 W10
    - G11 Clear height is shown thus: CH10 (where N=to Natural ceiling)
    - G12 T-Shed Reference shown thus: T10
    - G13 Finishes are shown thus: F10
  - G14 Setting Out Points shown thus: SOP
  - G15 Refer to ADP1-01/020 for T-Shed reference, and to ADP1-01/020 for Architectural Specifications.

- Note**
- Bar / Restaurant / back of house layouts shown indicate only intended layout but subject to change.
  - Back of House
  - Core
  - Bedroom
  - Hotel Lobby and Restaurant

Work Package	Cost Check	Hand-Off	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Architect	Drawing Number
										30.06.2015	PA1	Planning Application Submission		1-5 Grosvenor Place	Level 08 General Arrangement Plan	Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 6LD T: 020 7724 1751 E: mail@hopkins.co.uk	1GP-HAP-XX-XX-DR-AR-0218
																	Date 30.06.2015 Rev. PA1 Scale 1:200 at A1

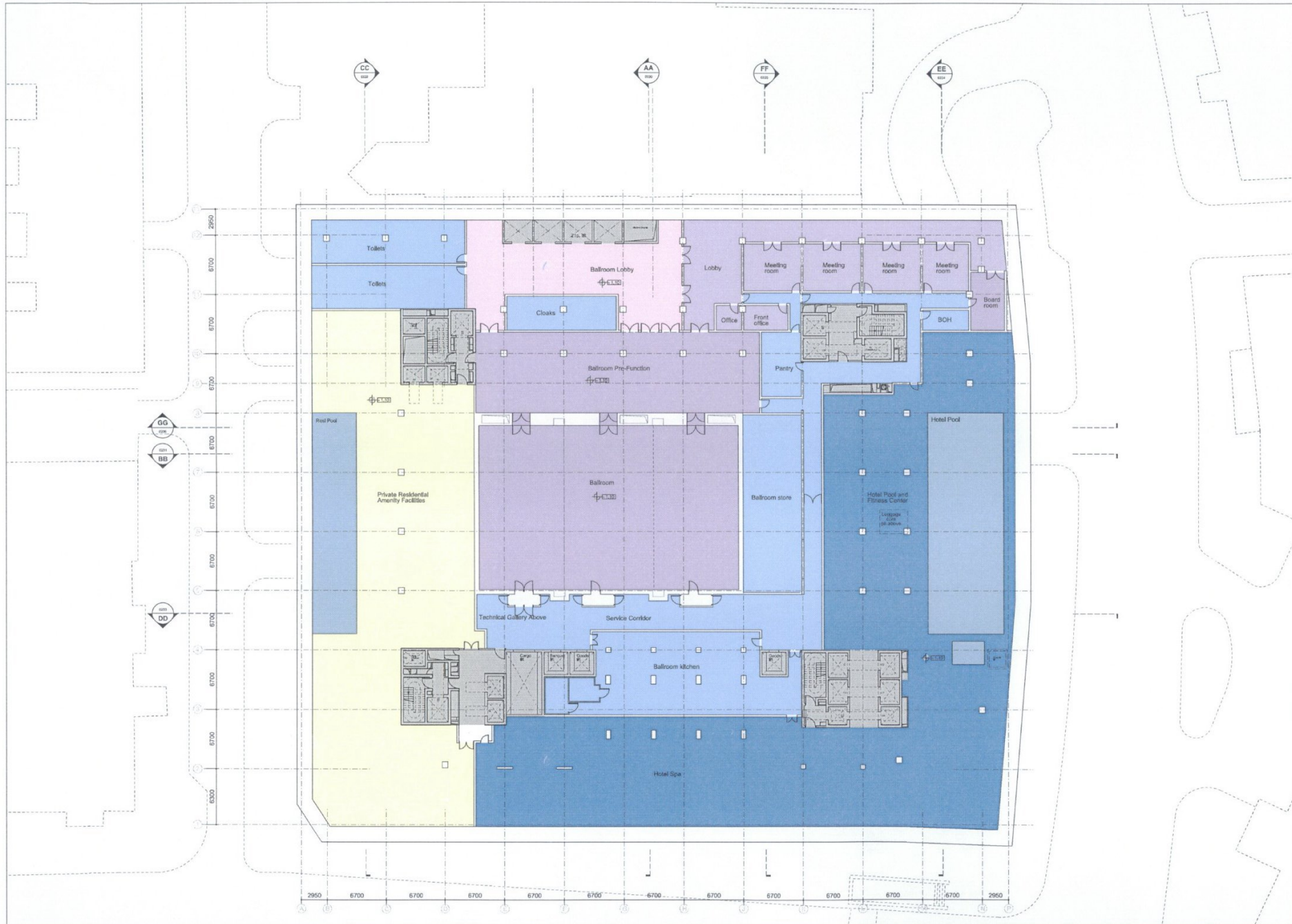


- General Notes:**
- G1 For Site and G&T setting out refer to AGP1-01/100
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above outdoor datum (AOD) unless levels are shown that:  
Existing Levels are shown that:  
Finished Existing Levels:  
EC100-210  
EC100-210
  - G5 Use Spaced dimensions only. Do not scale from drawings. If by DUCT, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For tolerances see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Design, this drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation within the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown that:  
100  
100  
100
  - G10 Duct(s) & Inlet(s) (W) References are shown that:  
100  
100  
100
  - G11 Core Indict is shown that (Detailed Note or Related only)
  - G12 T-Sheet Reference shown that
  - G13 Fixtures are shown that:  
100  
100  
100
  - G14 Setting Out Points shown that:  
100  
100  
100
  - G15 Refer to AGP1-09/20 for T-Sheet references, and to AGP1-09/60 for Architectural Specifications.

- Note**
- Hotel back of House arrangement indicative
- Internal layout indicative only
- Blue Room of House
  - Grey Core
  - Light Blue Hotel Administration
  - White Plant Rooms

Work Package	Cost Check	Modelling	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Architect	Date	Scale	Rev.	Drawing Number
										30.06.2015	PA1	Planning Application Submission	AP	1-5 Grosvenor Place	Level B3 General Arrangement Plan	Hopkins Architects Partnership LLP 27 Broadway Terrace, London, NW1 6LG T: 020 7724 1761 E: mal@hopkins.co.uk	30.06.2015	1:200 at A1	PA1	1GP-HAP-XX-XX-DR-AR-0206

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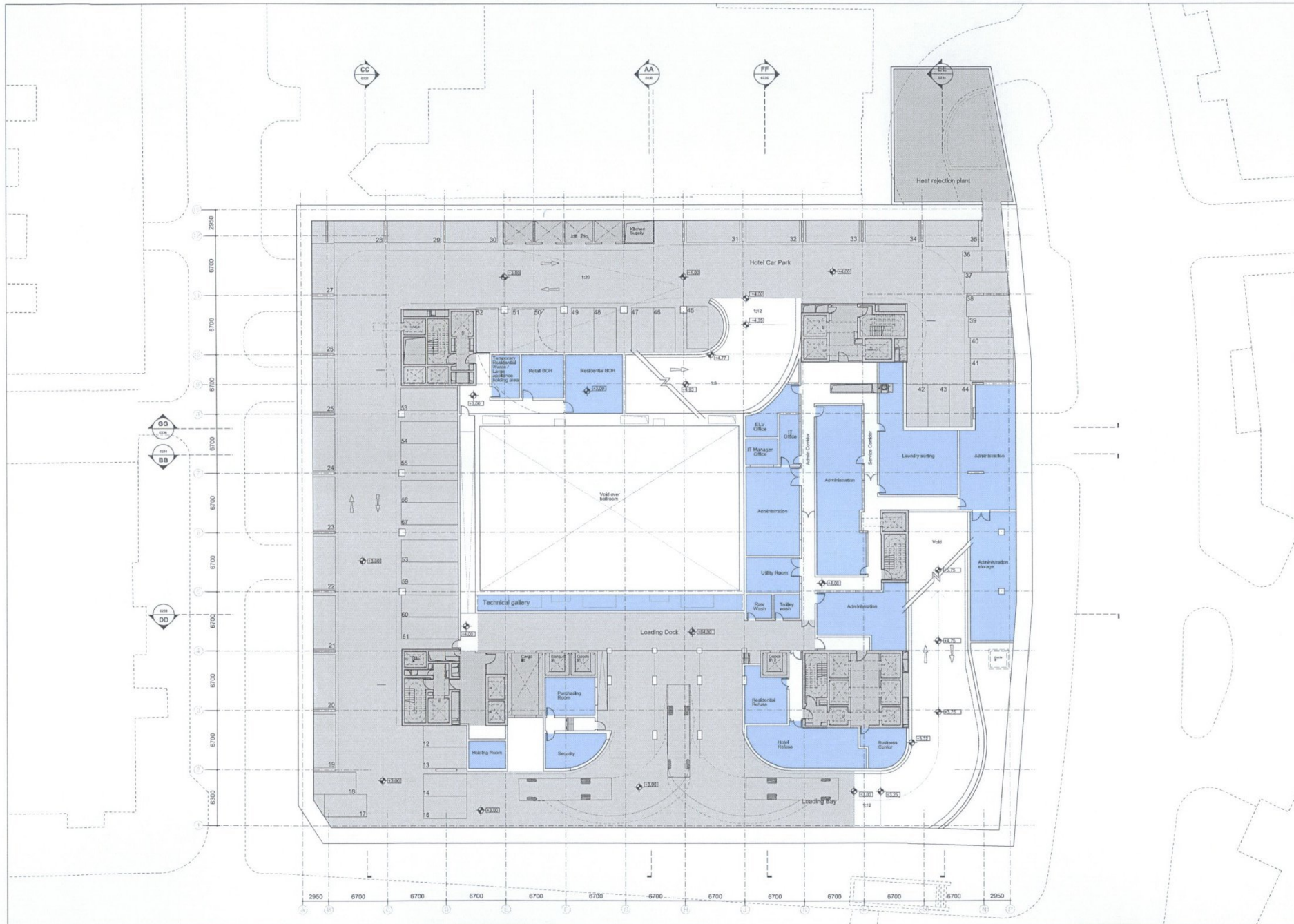


- General Notes:**
- G1 For Size and Grid setting out refer to ASGP1-01/02
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are shown unless stated otherwise:  
 Level Levels are shown thus: R100  
 Lifting Levels are shown thus: L100  
 Finished Ceiling Levels: C100
  - G5 Use Square dimensions only. Do not scale from drawings. If in DOCS, ASK.
  - G6 Refer to Structural Engineers drawings for all structural and services information.
  - G7 For tolerances see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's Discretion, this drawing is indicative of the overall performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation within the parameters defined in the specification, design drawings, contract terms and contract documents.
  - G9 Rooms numbers are shown thus:  
 G10 Door (D) & Window (W) References are shown thus: D101 W101
  - G11 Clear height is shown thus: CH101 (Refer to Section cuts)
  - G12 T-Shed Reference shown thus: T101
  - G13 Finishes are shown thus: F101
  - G14 Setting Out Points shown thus: SOP1
  - G15 Refer to ASGP1-01/02 for T-Shed references, and to ASGP1-02/02 for Architectural Specifications.

- Notes:**
- Hotel back of house arrangement indicative
  - Residential facilities and hotel facilities indicative
  - Internal layout indicative only
- Base of House
  - Core
  - Hotel Administration
  - Ballrooms and Meeting Rooms
  - Circulation and Ballroom Entrance
  - Reception
  - Residential
  - Spa
  - Pool

Work Package	Cost Check	Info/Working	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Date
										30.06.2015	PA1	Planning Application Submission		

Project: 1-5 Grosvenor Place Subject: Level B2 General Arrangement Plan Architects: Hopkins Architects Partnership LLP 27 Broadley Terrace, London, NW1 6LG T: 020 7724 1751 E: mail@hopkins.co.uk	Drawing Number: 1GP-HAP-XX-XX-DR-AR-0207 Date: 30.06.2015 Rev. PA1 Scale: 1/200 at A1
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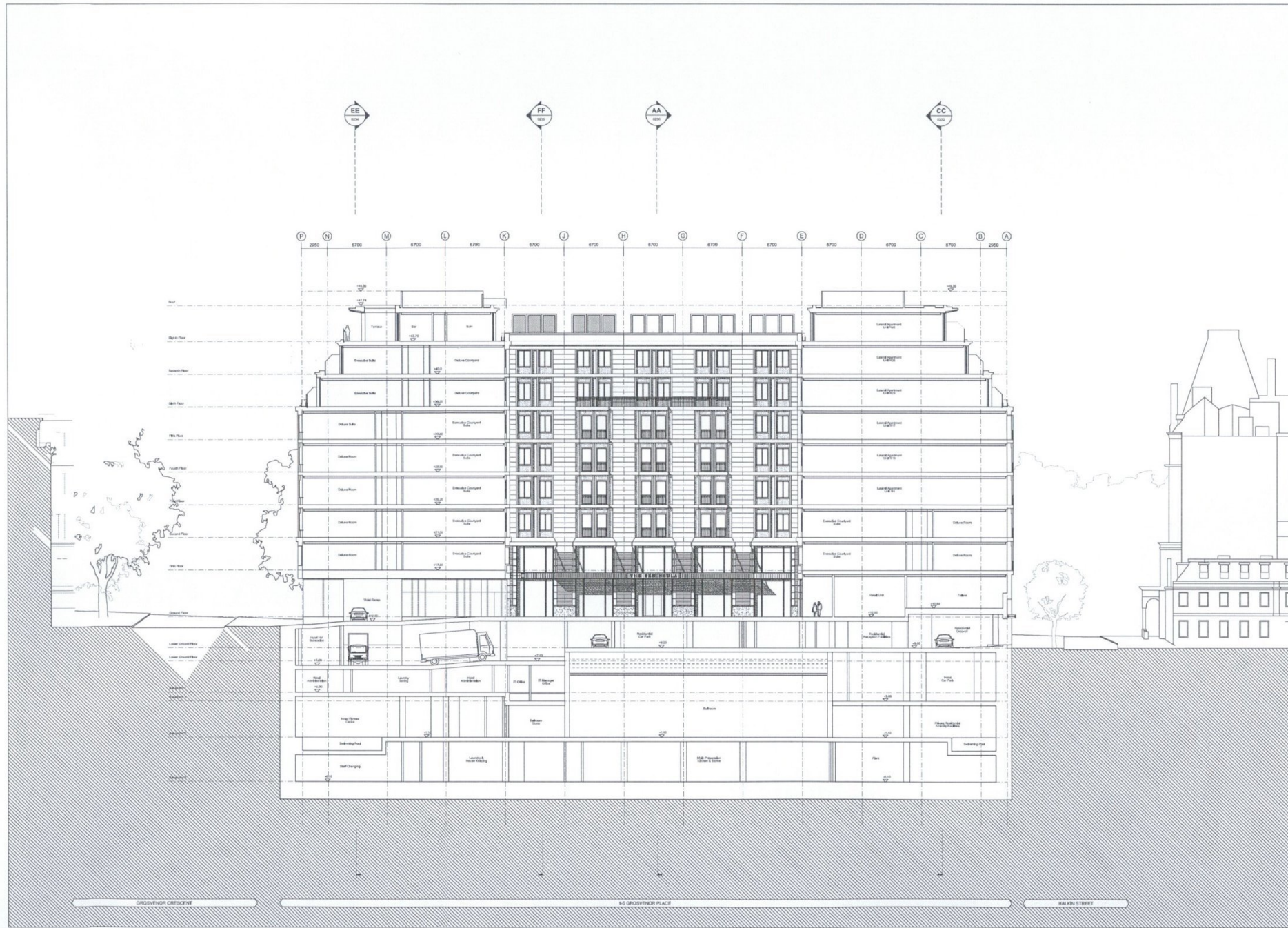


- General Notes:**
- G1 For Site and G&S setting out refer to: ACP1-5-1102
  - G2 All dimensions to be checked on site
  - G3 Any discrepancies between drawings to be reported to the Architect immediately.
  - G4 All Levels are above Ordnance Datum (AOD). New Levels are shown thus: 22.340  
Existing Levels are shown thus: 22.340  
Height Existing Levels: 22.340
  - G5 Use Square dimensions only. Do not scale from drawings. If in doubt, ASK.
  - G6 Refer to Section of Engineers drawings for all structural and services information.
  - G7 For references see the Design Drawings and Specifications.
  - G8 For elements of work subject to Contractor's design, this drawing is indicative of the layout & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specifications, design drawings, contract terms and contract documents.
  - G9 Room numbers are shown thus: 112
  - G10 Door(s) & Window (W) References are shown thus: 112
  - G11 Clear height is shown thus: 2.500
  - G12 T Sheet Reference shown thus: W501
  - G13 Finishes are shown thus: S2
  - G14 Setting Out Points shown thus: S2
  - G15 Refer to ACP1-5-0203 for T Sheet references, and to ACP1-5-0500 for Architectural Symbols.

- Note:**
- Internal face of house arrangement indicative
  - Internal layout indicative only
  - Blue = Base of House
  - Grey = Core
  - Light Blue = Heat Administration
  - White = Plant Rooms

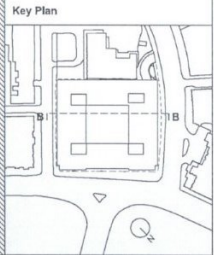
Work Package	Cost Check	Modeling	Tender	Contract	Construction	Date	Rev.	Description	Approved By	Date	Rev.	Description	Approved By	Project	Subject	Architect	Drawing Number
										30.06.2015	PA1	Planning Application Submission		1-5 Grosvenor Place	Level B1 General Arrangement Plan	Hopkins Architects Partnership LLP 27 Broadley Terrace, London NW1 6LG T: 020 7724 1751 E: mail@hopkins.co.uk	1GP-HAP-XX-XX-DR-AR-0208
																	Date 30.06.2015 Rev. PA1
																	Scale 1:200 at A1





- General Notes:**
- 01 For Site and G&E setting out refer to ACP14-1022
  - 02 All dimensions to be checked on site
  - 03 Any discrepancies between drawings to be reported to the Architect immediately.
  - 04 All Levels are above sea level datum (AOD)  
 Mean Levels are shown thus: M.L.  
 Existing Levels are shown thus: E.L.  
 Finished Existing Levels: F.E.L.
  - 05 Use Special dimensions only. Do not scale from drawings. IF IN DOUBT, ASK.
  - 06 Refer to Structural Engineers drawings for all structural and services information.
  - 07 For tolerances see the Design Drawings and Specifications.
  - 08 For elements of work subject to Contractor's Design, the drawing is indicative of the visual & performance requirements only. The Contractor is responsible for the detailed design and coordination of the installation with the parameters defined in the specification, design drawings, contract terms and contract documents.
  - 09 Room numbers are shown thus: R101
  - 010 Door (D) & Window (W) Performance are shown thus: D10
  - 011 Clear height is shown thus: CH10
  - 012 T-Shaft Reference is shown thus: TS10
  - 013 Finishes are shown thus: F10

**Note:**  
 Internal layout indicative only  
 Operative glass



Work Package	Cost Check	Info/Marketing	Tender	Contract	Construction

Date	Rev.	Description

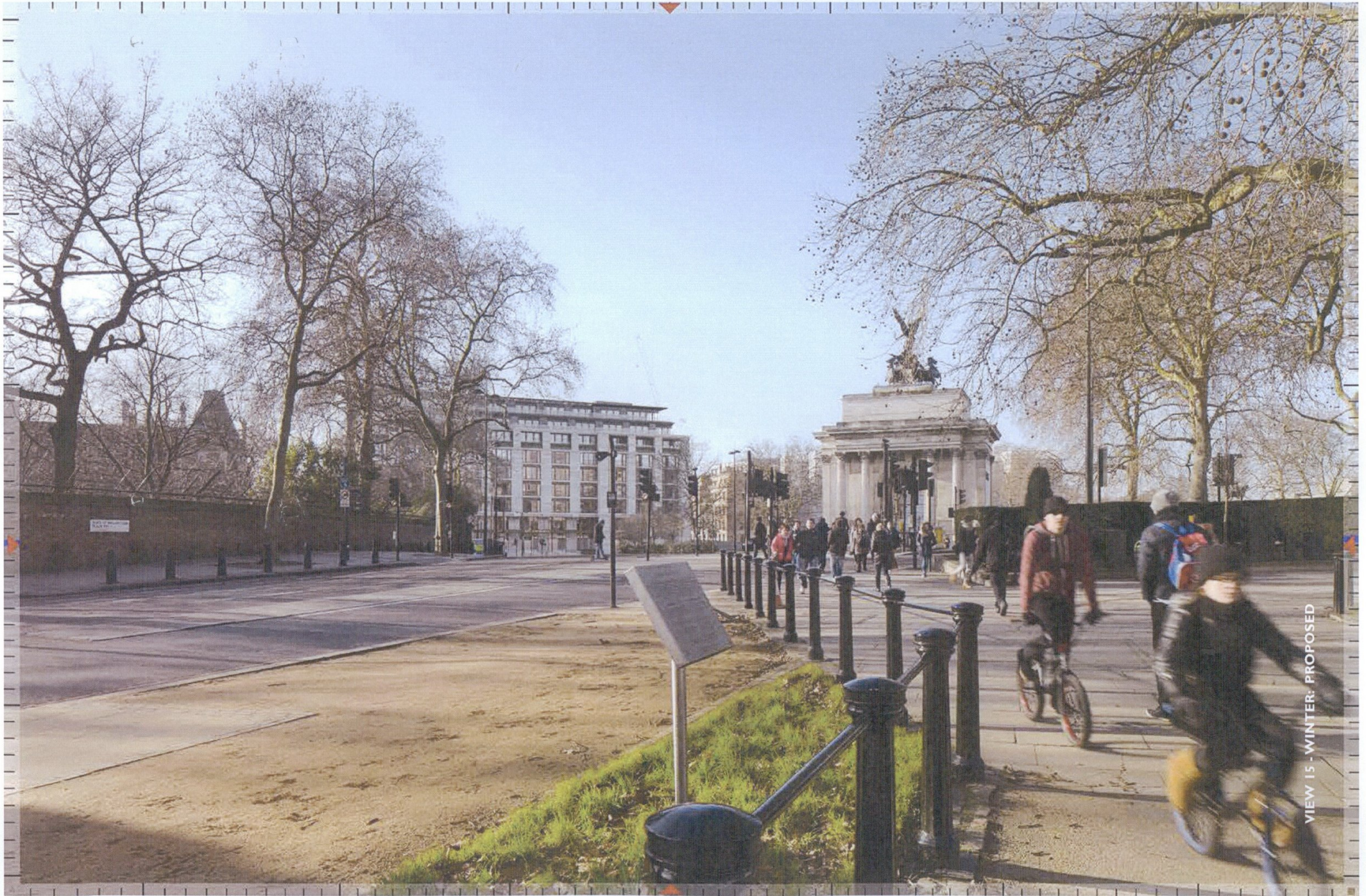
Approved By	Date	Rev.	Description

Project	1-5 Grosvenor Place
Subject	Section B-B General Arrangement Section
Architect	Hopkins Architects Partnership LLP 37 Broadley Terrace, London, NW1 6LD T: 020 7724 1751 E: mal@hopkins.co.uk

Drawing Number	1GP-HAP-XX-XX-DR-AR-0231
Date	30.06.2015
Rev.	PA1
Scale	1:200 at A1



VIEW 11 - SPRING: PROPOSED



VIEW 15 - WINTER: PROPOSED



VIEW 20 - SPRING PROPOSED



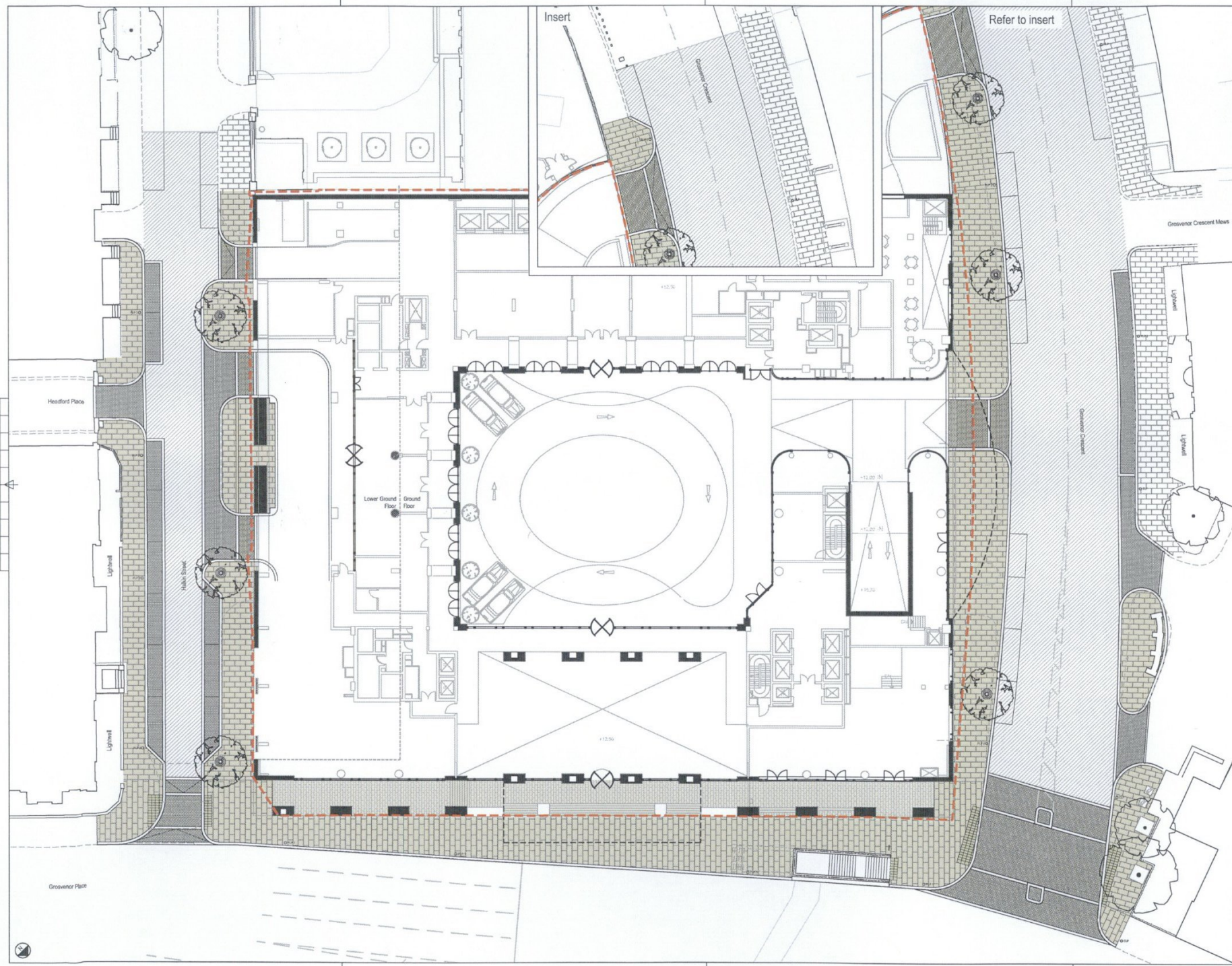
VIEW 24 - WINTER - PROPOSED



VIEW 0 - SPRING - PROPOSED



Visualisation of internal courtyard with the hotel drop-off to the Lobby

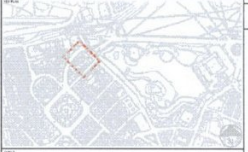


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**NOTES**

- Key:**
- Scoutmoor Yorkstone 600mm wide x random length
  - Granite Setts - Grey mix 250 x 150mm
  - Granite Setts - Buff mix 250 x 150mm
  - Paving to cobblestone
  - Asphalt Carriageway
  - Tactile Paving
  - Scoutmoor Yorkstone
  - Granite Kerb to YS 300mm wide
  - Proposed Light Column TL
  - Proposed Light Column MacKenzie & Moncur
  - Existing Light Column to be retained
  - Bespoke Mayfair & Belgravia Cycle Stand
  - Proposed tree and bespoke Mayfair and Belgravia tree grill

- D Updated indicative public realm plan JMM NE 16.11.15
  - C Revised to latest arch layout JMM NE 19.06.15
  - B FOR INFORMATION JMM NE 16.06.15
  - A FOR INFORMATION JMM NE 00.06.15
- FIRST ISSUE FOR INFORMATION JMM NE



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Proposed Amendment to Public Realm Plan	28.04.15
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